

**ORDINANCE NO. 2005 - 1**

AN ORDINANCE OF THE HILLTOWN TOWNSHIP BOARD OF SUPERVISORS AMENDING CHAPTER 140, THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

The Hilltown Township Board of Supervisors upon review by the Bucks County Planning Commission and Hilltown Township Planning Commission hereby enacts and ordains the following Ordinance:

I. **Section 140-6. Definitions. Agricultural Soils** is revised to read as follows:

**Agricultural Soils** – Agricultural soils shall be as recognized and classified in the Soil Survey of Bucks County, Pennsylvania, U.S. Department of Agriculture, National Resources Conservation Service, May 2004 Update, or as amended:

A. **Prime Agricultural Soils**

<u>Manuscript Symbol</u>	<u>Soil Name</u>
AIA	Alton gravelly loam, 0 to 3 percent slopes
AIB	Alton gravelly loam, 3 to 8 percent slopes
ArB	Arendtsville gravelly silt loam, 3 to 8 percent slopes
BeA	Bedington channery silt loam, 0 to 3 percent slopes
BeB	Bedington channery silt loam, 3 to 8 percent slopes
BrB	Brecknock channery silt loam, 3 to 8 percent slopes
BsA	Brownsburg silt loam, 0 to 3 percent slopes
BsB	Brownsburg silt loam, 3 to 8 percent slopes
CdA	Chester silt loam, 0 to 3 percent slopes
CdB	Chester silt loam, 3 to 8 percent slopes
CmB	Clarksburg silt loam, 3 to 8 percent slopes
DaA	Delaware loam, 0 to 3 percent slopes
DaB	Delaware loam, 3 to 8 percent slopes
DfB	Duffield silt loam, 3 to 8 percent slopes
DuA	Duncannon silt loam, 0 to 3 percent slopes
DuB	Duncannon silt loam, 3 to 8 percent slopes
EcB	Edgemont channery loam, 3 to 8 percent slopes
FoA	Fountainville silt loam, 0 to 3 percent slopes
FoB	Fountainville silt loam, 3 to 8 percent slopes
GIB	Gladstone gravelly silt loam, 3 to 8 percent slopes
GrA	Glenville silt loam, 0 to 3 percent slopes
GrB	Glenville silt loam, 3 to 8 percent slopes
LgA	Lansdale loam, 0 to 3 percent slopes
LgB	Lansdale loam, 3 to 8 percent slopes
LkA	Lawrenceville silt loam, 0 to 3 percent slopes
LmA	Lehigh channery silt loam, 0 to 3 percent slopes
LmB	Lehigh channery silt loam, 3 to 8 percent slopes
Lt	Linden loam
MaB	Manor loam, 3 to 8 percent slopes

McA	Matapeake silt loam, 0 to 3 percent slopes
McB	Matapeake silt loam, 3 to 8 percent slopes
MdA	Mattapex silt loam, 0 to 3 percent slopes
MIA	Mount lucas silt loam, 0 to 3 percent slopes
MIB	Mount lucas silt loam, 3 to 8 percent slopes
NbB	Neshaminy silt loam, 3 to 8 percent slopes
PeA	Penn channery silt loam, 0 to 3 percent slopes
PeB	Penn channery silt loam, 3 to 8 percent slopes
PnB	Penn-Lansdale complex, 3 to 8 percent slopes
RaA	Raritan silt loam, 0 to 3 percent slopes
RaB	Raritan silt loam, 3 to 8 percent slopes
ReA	Readington silt loam, 0 to 3 percent slopes
Ro	Rowland silt loam
WaB	Washington silt loam. 3 to 8 percent slopes

- B. **Agricultural Soils of Statewide Importance** – The following soil types shall be recognized and classified as Agricultural Soils of Statewide Importance:

<u>Manuscript Symbol</u>	<u>Soil Name</u>
AbA	Abbottstown silt loam, 0 to 3 percent slopes
AbB	Abbottstown silt loam, 3 to 8 percent slopes
AbC	Abbottstown silt loam, 8 to 15 percent slopes
AmA	Amell silt loam, 0 to 3 percent slopes
AmB	Amell silt loam, 3 to 8 percent slopes
ArC	Arendtsville gravelly silt loam, 8 to 15 percent slopes
BeC	Bedington channery silt loam, 8 to 15 percent slopes
BrC	Brecknock channery silt loam, 8 to 15 percent slopes
BsC	Brownsburg silt loam, 8 to 15 percent slopes
BwB	Buckingham silt loam, 3 to 8 percent slopes
CbA	Chalfont silt loam, 0 to 3 percent slopes
CbB	Chalfont silt loam, 3 to 8 percent slopes
CdC	Chester silt loam, 8 to 15 percent slopes
CyB	Culleoka-weikert channery silt loam, 0 to 3 percent slopes
CyC	Culleoka-weikert channery silt loam, 8 to 15 percent slopes
DgC	Duffield-ryder silt loams, 8 to 15 percent slopes
EcC	Edmont channery loam, 8 to 15 percent slopes
FoC	Fountainville silt loam, 8 to 15 percent slopes
GIC	Gladstone gravelly silt loam, 8 to 15 percent slopes
Ha	Hatboro silt loam (Farmland of statewide importance)
Ho	Holly silt loam
KIB	Klinesville very channery silt loam, 3 to 8 percent slopes
LgC	Lansdale loam, 8 to 15 percent slopes
LgD	Lansdale loam 15 to 25 percent slopes
LkB	Lawrenceville silt loam, 3 to 8 percent slopes
LmC	Lehigh channery silt loam, 8 to 15 percent slopes
MaC	Manor loam, 8 to 15 percent slopes
MIC	Mount lucas silt loam, 8 to 15 percent slopes
NbC	Neshaminy silt loam, 8 to 15 percent slopes
NkA	Nockamixon silt loam, 0 to 3 percent slopes

NkB	Nockamixon silt loam, 3 to 8 percent slopes
NkC	Nockamixon silt loam, 8 to 15 percent slopes
PeC	Penn channery silt loam, 8 to 15 percent slopes
PkB	Penn-klinesville channery silt loam, 3 to 8 percent slopes
PkC	Penn-klinesville channery silt loam, 8 to 15 percent slopes
PkD	Penn-klinesville channery silt loam, 15 to 25 percent slopes
PnC	Penn-lansdale complex channery silt loam, 8 to 15 percent slopes
RaC	Raritan silt loam, 8 to 15 percent slopes
ReB	Readington silt loam, 3 to 8 percent slopes
RIA	Reaville channery silt loam, 0 to 3 percent slopes
RIB	Reaville channery silt loam, 3 to 8 percent slopes
RIC	Reaville channery silt loam, 8 to 15 percent slopes
StB	Steinsburg gravelly loam, 3 to 8 percent slopes
StC	Steinsburg gravelly loam, 8 to 15 percent slopes
WaC	Washington silt loam, 8 to 15 percent slopes

II. **Section 140-6. Definitions.**

**Lot, Reverse Frontage** is revised to read as follows:

9. **Lot, Reverse Frontage** – A lot (excluding corner lots) which abuts upon two streets.

III. **Section 140-7. General Procedure** is revised to read as follows:

A. Classification of Subdivision. Whenever any subdivision of land or land development is proposed, before any contract is made for the sale of any part thereof, and before any permit for the erection of a structure in such proposed subdivision or land development shall be granted, the Owner, or his authorized agent, shall apply for and secure approval for such proposed subdivision or land development in accordance with the following procedures for subdivision and land development.

B. Pre-application Consultation.

- (1) Pennsylvania Department of Environmental Protection (“PADEP”). Prior to the preparation of any plans, it is suggested that prospective developers consult with PADEP and/or the Bucks County Health Department concerning soil suitability when onsite sewage disposal facilities are proposed.
- (2) Bucks County Conservation District Consultation (“BCCD”). Prospective developers shall consult with BCCD representatives concerning erosion, sedimentation control, and geologic conditions at the proposed development.
- (3) Pennsylvania Department of Transportation Consultation (“PennDOT”). When the development site has frontage on a Pennsylvania State highway and/or proposes access to a Pennsylvania State highway, the developer shall consult with PennDOT concerning design requirements, which may be imposed in addition to the requirements of this Ordinance.
- (4) Hilltown Township Staff Consultation. Prior to the preparation of any plans, it is recommended that prospective developers, with prior notification to the Board of Supervisors of Hilltown Township, consult with the Hilltown Township staff, including

the Manager, Engineer, and Solicitor, concerning general Township submission procedures, zoning issues, and subdivision and land development issues.

- (5) Municipal Authority Consultation. When the development anticipates having either public water service and/or public sanitary sewer service, it is recommended that the developer consult with the Hilltown Township Water and Sewer Authority ("HTWSA") or the appropriate municipal authority having jurisdiction by service agreement with Hilltown Township for the location in which the development is proposed.

C. Official Filing Date.

- (1) For the purpose of these regulations, the official filing date shall be the date of the regular meeting of the Planning Commission next following the date complete application and plans are received in the Municipal Building; provided, that should said regular meeting occur more than 30 days following the submission of the application, the official filing date shall be the thirtieth (30<sup>th</sup>) day following the day the complete application has been submitted. An application will not be deemed complete unless all applicable fees have been paid by the applicant and the application and plans conform with the plan requirements set forth in Article IV of this Ordinance.
- (2) Upon receipt of an application for subdivision or land development approval, the Township Secretary shall affix to the application both the date of submittal and the official filing date.
- (3) The application record shall be closed 21 days before the Planning Commission meeting at which the plan will be considered to allow time to examine and study the plans and all appropriate supporting documentation. The Township will not accept changes or amendments to the application after this date unless the applicant shall apply for a rescheduling of the meeting at which the plan will be considered before the Planning Commission and makes suitable provision for an extension of the review time. This policy shall apply to sketch, preliminary, and final plan submissions.

D. Bucks County Planning Commission Review. All plans shall be submitted to and reviewed by the Bucks County Planning Commission in accordance with its then prevailing rules and regulations.

E. Any renderings, photographs, drawings or plans that are to be presented at a public meeting shall be submitted in PDF format on either a CD or DVD and shall accompany and be part of the plan submission application.

IV. Section 140-10. Minor Subdivision Procedure is revised to add Subsection B as follows and renumber 140.10.B, 140.10.C, and 140.10.D, respectively.

B. The applicant shall distribute the required documents in accordance with the most current Hilltown Township application form, which specifies that number of copies and reviewing agencies. All documentation required by this Ordinance including, but not limited to, (plans, applications, stormwater management reports and, traffic studies) shall also be submitted in PDF format on either a CD or DVD.

In addition to the above, an "information packet" shall be included with the submission to the Township at the time the application is made for land development or subdivision of any property. The "information packet" shall include the location of the land development or subdivision, real and equitable owners, number of lots, lot size, housing type or non-residential use, water and sewer availability (on-site or public), amount of open space, and shall include a map showing the properties (and their uses) surrounding the proposed property and a general plan of the development showing the lots, roads, parking, etc. Said plans shall be submitted on an 11 inch by 17 inch plan sheet.

It is the responsibility of the applicant to coordinate and submit plans with the respective private and public service agencies including but not limited to (where applicable) Bucks County Conservation District, Bucks County Department of Health, Pennsylvania Department of Environmental Protection, PennDOT, and municipal authorities.

V. **Section 140-11. Major Subdivision and Land Development Procedure.** Subsection B.(1)(b) is deleted in its entirety and replaced with the following:

B.(1)(b) The applicant shall distribute the required documents in accordance with the most current Hilltown Township application form, which specifies that number of copies and reviewing agencies. All documentation required by this Ordinance including, but not limited to, (plans, applications, stormwater management reports, and traffic studies) shall also be submitted in PDF format on either a CD or DVD.

In addition to the above, an "information packet" shall be included with the submission to the Township at the time the application is made for land development or subdivision of any property. The "information packet" shall include the location of the land development or subdivision, real and equitable owners, number of lots, lot size, housing type or non-residential use, water and sewer availability (on-site or public), amount of open space, and shall include a map showing the properties (and their uses) surrounding the proposed property and a general plan of the development showing the lots, roads, parking, etc. Said plans shall be submitted on an 11 inch by 17 inch plan sheet.

It is the responsibility of the applicant to coordinate plans with the respective private and public service agencies including but not limited to (where applicable) Bucks County Conservation District, Bucks County Department of Health, Pennsylvania Department of Environmental Protection, PennDOT, and municipal authorities.

VI. **Section 140-11. Major Subdivision and Land Development Procedure.** Subsections B.(1)(c) and (d) are revised and (h) is added to read as follows:

(c) The application form shall be accompanied by the requisite fee as set forth in Section 140-8 of this Ordinance and by not less than four (4) copies of all required material and not less than seven (7) prints of the preliminary plans of the subdivision or development; or as amended by Township resolution from time to time.

- (d) The Township Secretary shall forward one (1) copy of the preliminary plan prints and required material to the Bucks County Planning Commission, Hilltown Township Water and Sewer Authority and such other agencies as he/she deems appropriate for review and comment. One print shall be sent to the Fire Marshall when deemed necessary by the Township.
  - (h) Adequate water and sewer required.
    - (a) Applicants proposing a private water supply shall submit a water resources impact study in accordance with Section 140-22 of this Ordinance.
    - (b) No plan shall receive final plan approval until the applicant has demonstrated that the project can provide adequate water supply and wastewater disposal.
- VII. Section 140-15. Sketch Plan is revised to add Subsection D as follows:
- D. An "information packet" shall be included with the sketch plan. The "information packet" shall include the location of the land development or subdivision, real and equitable owners, number of lots, lot size, housing type or non-residential use, water and sewer availability (on-site or public), amount of open space, and shall include a map showing the properties (and their uses) surrounding the proposed property and a general plan of the development showing the lots, roads, parking, and similar improvements. Said plans shall be submitted on an 11 inch by 17 inch plan sheet.
- VIII. **Section 140-16. Lot Line Adjustment and Minor Subdivision.**, Subsection C.(7) is revised to read as follows:
- (7) Location map showing the relationship of the site to adjoining properties, proposed property lines, Zoning District boundaries, and streets within 1,000 feet. Scale of the location map shall be 1" = 800'.
- IX. **Section 140-16. Lot Line Adjustment and Minor Subdivision.**, Subsection D.(1) is revised to read as follows:
- (1) Soil types within the site based on maps contained in the "Soil Survey of Bucks County, PA", USDA - NRCS, National Cooperative Soil Survey, May 2004 Update. A table shall indicate each soil's limitations for community development.
- X. **Section 140-17. Preliminary Plan.**, Subsection D.(8) is revised to read as follows:
- (8) Soil types within the site based on maps contained in the "Soil Survey of Bucks County, PA", USDA - NRCS, National Cooperative Soil Survey, May 2004 Update.
- XI. **Section 140-18. Final Plan (Record)**, Subsection G. Notes and Certificates shall be revised to delete "19\_\_" and insert "20\_\_" wherever applicable and delete G.(5), Township Planning Commission notations.

XII. **Section 140-25. General Standards.**, Subsection C. is revised to read as follows:

C. Lot lines shall follow Township boundary lines rather than cross them.

XIII. **Section 140-26. "Community Facilities"** is revised to "Community Facilities and Open Space", and further revised to add the following:

D. A plan for control of noxious weeds as defined by the Noxious Weed Control Law (Act 72 of 1994, as amended) shall be submitted for approval by the Township for all open space areas. The control plan may include periodic cutting, grubbing, foliar spray, basal bark herbicide application, soil application or a combination of methods. Control plan shall be determined based upon the extent of infestation, quality of native vegetation, existing natural resources (floodplain, wetlands, steep slopes), natural habitat disturbance, etc. Noxious weeds include the following:

- (1) Cannabis sativa, commonly known as marijuana.
- (2) The Lythrum salicaria Complex: Any nonnative Lythrum including, Lythrum salicaria and Lythrum virgatum, their cultivars and any combination thereof.
- (3) Cirsium arvense, commonly known as Canadian thistle.
- (4) Rosa Multiflora, commonly known as Multiflora rose.
- (5) Sorghum halepense, commonly known as Johnson grass.
- (6) Carduus nutans, commonly known as musk thistle.
- (7) Cirsium vulgare, commonly known as bull thistle.
- (8) Datura stramonium, commonly known as jimson weed.
- (9) Polygonum perfoliatum, commonly known as mile-a-minute.
- (10) Puerria lobata, commonly known as kudzuvine.
- (11) Sorghum bicolor cv. drummondii, commonly known as shattercane.
- (12) Heracleum mantegazzianum, commonly known as Giant Hogweed.
- (13) Galega officinalis, commonly known as Goatsrue.

E. Designation of and permitted uses on Open Space land shall conform to requirements of Section 160-58 of the Zoning Ordinance. Land which is to be used for recreation purposes shall be established as lawn (except those portions which will remain forested). Open space areas to be dedicated to the Township and remain "natural" which are fallow field/meadow shall be planted with native tree species to establish forest. A planting plan which identifies tree species, genus, size, and spacing; and groundcover/preparation shall be submitted with the preliminary plan application; and is subject to approval by the Township.

The planting plan shall, at a minimum, provide for the installation of one (1) tree per 100 square feet of reforestation area. Trees shall have a minimum height of two (2) feet at the time of installation. Bare root plants shall be planted between October 15<sup>th</sup> and December 1<sup>st</sup>. Potted plants shall be planted between March 15<sup>th</sup> and May

1<sup>st</sup>. Trees shall be fertilized, mulched, and staked, and if necessary, protected from deer browsing. Species shall be nature hardwoods.

Township owned open space may be designated and remain in agricultural use pursuant to Zoning Ordinance requirements where permitted by the Board of Supervisors.

- F. The perimeter of common open space areas whether to be owned by the Township or by a Homeowner's Association shall be delineated by fencing (at changes in direction of open space boundary), tree plantings or other methods approved by the Township. In addition, signage shall be installed to alert adjacent property owners of the open space area.

XIV. **Section 140-27. Blocks and Lots.**, Subsections B.(2) and B.(9) are revised to read as follows:

- B.(2) Residential blocks shall be of sufficient depth to accommodate two tiers of lots, except where reverse frontage lots containing frontage on a local street and either an arterial or a collector street.
- B.(9) Reverse frontage lots are prohibited except in accordance with Section 140-27.B.(2) above. Vehicular access for reverse frontage lots is restricted to local streets.

XV. **Section 140-28. Street Regulations.**, Subsections I and P are revised to read as follows:

- I. Screening through the use of appropriate plant materials, and berms subject to site plan review shall be provided along the property line of lots with reverse frontage to buffer the lot from the higher order street. Berms shall undulate with a height varying from two (2) feet to six (6) feet. A minimum of eight (8) inches of topsoil shall be placed on the berm. Plant material shall consist of a mixture of shrubs, evergreen trees, and deciduous trees. A minimum of 12 shrubs, 8 evergreen trees, and 4 deciduous trees per 100 lineal feet of frontage shall be planted in an informal arrangement. Planting shall conform to genus, species, caliper, and height requirements of Section 140-37 of this Ordinance. A yard area with a minimum depth of 25 feet shall be provided between the principle structure and edge of the reverse frontage planting. Required street trees shall not be counted toward the minimum number of screening plants.
- P. When the subdivision or land development abuts an existing street, drainage improvements shall be made to existing streets. Required improvements must be extended as necessary to provide positive drainage to existing storm drainage facilities or drainage channels. Additionally, existing cartways shall be reconstructed where necessary to establish minimum construction standards of Section 140.29. Where reconstruction is not required, leveling with ID-2 binder and/or wearing course material, and overlay with wearing course material is required to improve the cartway surface. When leveling is required, structural paving fabric designed for use as an interlayer must be installed between the leveling and wearing course.



XVI. **Section 140-29. Street Classification and Design Standards.**, Paragraph D.(1) and I are revised to read as follows:

D. Cartway Width.

(1) Minimum width of paving on existing streets shall not be less than the following:

<u>Type</u>	<u>Cartway Width (Feet)</u>
Arterial	34' (or as required by PennDOT)
Major/minor Collector	28' (or as required by PennDOT)
Local Access	26' (28' if curb required)

I. Speed limit, no parking, and advisory signs shall be installed along new development streets in accordance with PennDOT Regulations, and as required by the Township. Street name signs shall have 6 inch high white lettering with green background conforming to design utilized by the Township Road Department.

XVII. **Section 140-29 Street Classification and Design Standards.**, is revised to add the following:

J. Stop line markings shall be installed at all intersections of proposed public streets with arterial and major/minor collector streets, and with other existing local streets where determined necessary by the Township. Stop line markings shall be thermo-mastic white lines 12 inches wide extending across the approach lane(s). Lines shall be placed 4 feet in advance of and parallel to the nearest crosswalk line. Where marked crosswalks do not exist, the stop line shall be placed at the desired stopping point, but no more than 30 feet, or less than 4 feet from the nearest edge of the intersection travel way.

K. Crosswalk marking shall be installed (where sidewalk exists or is proposed) at all intersections of proposed public streets with arterial and major/minor collector streets, and with other existing local streets where determined necessary by the Township; and where mid-block pedestrian crossings are appropriate to connect trails, open space, community facilities, schools, and parking. Crosswalk markings shall consist of 6 feet long white thermo-mastic longitudinal lines 24 inches wide, spaced 24" apart. Warning signs, flashing lights, advance stop lines (Stop Here For Crosswalk), and refuge islands must be evaluated with consideration given to site-specific issues such as roadway width, number of lanes and traffic volumes; and are required to be installed where deemed necessary by the Township.

L. Patterned concrete crosswalks shall be installed on major pedestrian routes and internally on new residential streets where determined necessary by the Township due to anticipated pedestrian traffic volume and for traffic calming. Patterned concrete crosswalks shall conform to requirements of Appendix G and general concrete specifications of Appendix H.

M. Traffic calming techniques shall be incorporated into design of all new residential streets unless, upon review of the design plan and proposed calming, it is determined by the Board of Supervisors that traffic calming is not warranted. Traffic calming measures and design guidelines shall be in accordance with Pennsylvania Department of Transportation Publication 383 dated January 2001,

as amended. In particular, consideration should be given to the following traffic calming techniques:

- (1) Textured crosswalk.
- (2) Raised crosswalk.
- (3) Speed humps.
- (4) Gateways.
- (5) Curb extension/bulb outs.

XVIII. **Section 140-30 Cul-de-sac Streets.**, Subsections A. and D. are revised to read as follows:

- A. Cul-de-sac streets shall not be permitted unless the applicant can demonstrate to the satisfaction of the Township that construction of a thru street is not feasible. Applicant shall submit for review by the Township aerial mapping with tax map parcels identified which indicate the viability of potential future street construction to establish the thru street.
- D. Cul-de-sac streets shall be provided with a turnaround at the closed end designed with a landscaped island in accordance with Appendix I and J. The landscaping/planting plan for the island area is subject to approval by the Township but shall consist of deciduous and/or evergreen trees and shrubs; and berms/boulders and/or walls/planting beds. The outside three (3) feet shall be planted as lawn with four (4) inches of topsoil placed on eight (8) inches of 3A stone base.

XIX. **Section 140-34. Driveways.**, Subsections A(1) and A(6) are revised to read as follows:

- A.(1) Driveways on corner lots shall be located no less than sixty (60) feet from any street intersection (measured from the intersection of the ultimate right-of-way lines). Sight distance requirements for all residential and nonresidential driveways shall be in accordance with PennDOT Chapter 441.
- A.(6) Where an existing roadside drainage swale is too shallow to permit installation of a driveway pipe, a paved swale may be installed conforming to requirements of PennDOT Chapter 441 unless the anticipated depth of flow across the driveway exceeds one half ( $\frac{1}{2}$ ) inch during the 10-year return storm. Where the anticipated depth of flow across the driveway exceeds one half ( $\frac{1}{2}$ ) inch during the 10-year return storm, a concrete trench box with steel grate must be installed. Grates must be recessed below edge of cartway to establish a minimum 2% slope from the cartway to the grate. Trench boxes must extend beyond edge of driveway paving a minimum five (5) feet.

XX. **Section 140.35. Curbs**, Paragraph C is revised to read as follows:

- C. Curb shall be plain cement concrete curb, 18 inches in depth placed and finished in accordance with requirements set forth in the latest edition of PennDOT Specifications, Form 408. Concrete shall conform to specifications contained in Appendix H. After completion of the bituminous paving, Class BM-1 asphalt shall be applied to the joint between the curb and bituminous paving for a distance of

one foot from the curb toward the center of the road to seal the joint between the curb and bituminous paving.

XXI. **Section 140-36 Sidewalks.** Paragraph E is revised to read as follows:

- E. Sidewalks shall have a minimum depth of four inches and shall be placed on a four-inch-thick bed of PennDOT 2B stone base. Concrete driveways, driveway aprons, and sidewalks that will provide access for vehicles shall have a minimum concrete depth of six inches reinforced with wire mesh, and placed on a six-inch-thick bed of PennDOT 2B stone base. Concrete shall conform to specifications contained in Appendix H.

XXII. **Section 140-36. Sidewalks.,** Subsection G. is revised to read as follows:

- G. Curb depressions designed to accommodate wheelchairs shall be provided at street and other crossings and shall be in accordance with the latest PennDOT and Americans with Disabilities Act (ADA) standards. Detectable warnings, 24 inches in width (in the direction of travel) shall extend the full width of the curb ramp and be located so that the edge nearest the curb line is between 6 and 8 inches from the curb line. Detectable warnings shall consist of raised truncated domes with a diameter of nominal 0.9 inches, a height of nominal 0.2 inches and a center to center spacing of nominal 2.35 inches; and shall contrast visually with adjoining surfaces. (Refer ADA Guidelines Section 4.29)

XXIII. **Section 140-37. Landscape and Street Trees.,** is revised to delete *Pyrus calleryana* – Callery pear and *Euonymus alatus* – Winged euonymus from the list of approved plantings.

XXIV. **Section 140-37. Landscaping and Street Trees.,** Subsections A.(2) and (7) is revised to read as follows:

- A.(2) "Large Deciduous" street trees selected from Section 140-37.A shall be planted at intervals of not more than forty (40) feet. "Small Deciduous" street trees selected from Section 140-37.A shall be planted at intervals of not more than twenty-five (25) feet. All trees must be selected and coordinated to provide adequate separation from overhead and underground utilities.
- A.(7) The following plant material is permitted for use as tree plantings when placement is within four (4) feet of curb, sidewalk or asphalt surface:

Large Deciduous Trees

*Acer rubrum* - Red Maple  
*Acer x freemanii* 'Armstrong' - Armstrong Freeman Maple  
*Cercidiphyllum japonicum* tree form – Katsura Tree  
*Fraxinus americana* - White Ash  
*Fraxinus pennsylvanica* - Green Ash  
*Ginkgo biloba* – Maidenhair Tree (male only)  
*Gleditsia triacanthos* - Honeylocust (thornless only)  
*Liquidambar styraciflua* - Sweet-Gum  
*Tilia cordata* - Littleleaf Linden.  
*Zelkova serrata* - Japanese Zelkova

Small Deciduous Trees

Acer campestre - Hedge Maple  
Acer ginnala (tree form) - Amur Maple  
Acer tataricum (tree form) - Tatarian Maple  
Amelanchier laevis (tree form) – Serviceberry  
Carpinus caroliniana (tree form) - American Hornbeam  
Crataegus - Hawthorn (thornless only)  
Syringa reticulata (tree form) - Japanese Tree Lilac

Note: Additional tree species may be utilized if approved by the Township.

**XXV. Section 140-42. Sanitary Sewage Disposal.** Subsection F is deleted in its entirety and replaced as follows:

**F. On-lot Sewage Disposal Systems**

- (1) The owner shall provide for sewage disposal on an individual lot basis according to the rules, regulations, terms, and definitions, and conditions of the Individual Sewage Disposal System Application and certification procedure for Bucks County, Pennsylvania, adopted by the Bucks County Board of Commissioners on March 24, 1971, and any amendments made thereto.
- (2) On-lot sewage disposal facilities must comply with the provisions of Chapters 71 and 73. Administration of Sewage Facilities Program, Pennsylvania Sewage Facilities Act, (Act of January 24, 1966), P.L. 1535, No. 537 as amended (35 P.S. & 750). The proposed facilities must be deemed satisfactory by the Bucks County Department of Health and a permit for on-lot disposal be issued. A soil testing plan/report and statement of site suitability prepared by a licensed professional engineer or soil scientist must be submitted with the preliminary plan.
- (3) The developer shall provide the type of sanitary sewage disposal facility consistent with existing physical, geographical and geological conditions. All lots shall be provided with an onsite sanitary sewage disposal system of the type and design which shall, as a minimum requirement, meet the design standards of the Pennsylvania Department of Environmental Protection and/or the Bucks County Department of Health which systems shall be approved by the Pennsylvania Department of Environmental Protection and/or the Bucks County Department of Health.
- (4) Each owner or occupant of a dwelling unit with on-lot facilities shall be provided by the developer with a plan of the system and an instruction manual for the use and proper maintenance of the system.
- (5) The dimensioned location of the on-lot wastewater treatment system (includes the footprint of the proposed system and all system components) as well as any required isolation distances required by the Pennsylvania Department of Environmental Protection shall be shown on the preliminary and final plan submission. The on-lot wastewater treatment system must be installed where shown on the plan.
- (6) Onsite wastewater system shall not be located within a floodplain as defined by the Township Zoning Ordinance.

- (7) The area reserved for the on-lot wastewater system must be fenced and protected from any disturbance during all phases of construction.
- (8) All test sites for on-lot wastewater disposal shall be shown on the grading plan whether used or not used for the final wastewater disposal design. A soils report shall be provided to the Township for all wastewater test sites.

XXVI. Should any section or any provision of this Ordinance be declared by any court of competent jurisdiction to be invalid, illegal, or unconstitutional, such decision shall have no effect on the validity of this Ordinance as a whole, or any part thereof.

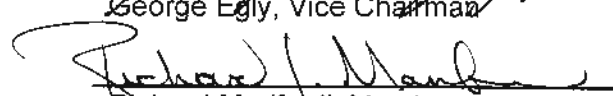
XXVII. Any Ordinance or Resolution or part of any Ordinance or Resolution inconsistent with the provisions of this Ordinance shall be repealed to the extent of such inconsistency.

XXVIII. Effective Date.

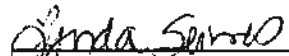
ORDAINED AND ENACTED into an Ordinance this 23<sup>rd</sup> day of May, 2005 by the Board of Supervisors of Hilltown Township in a lawful session duly assembled.

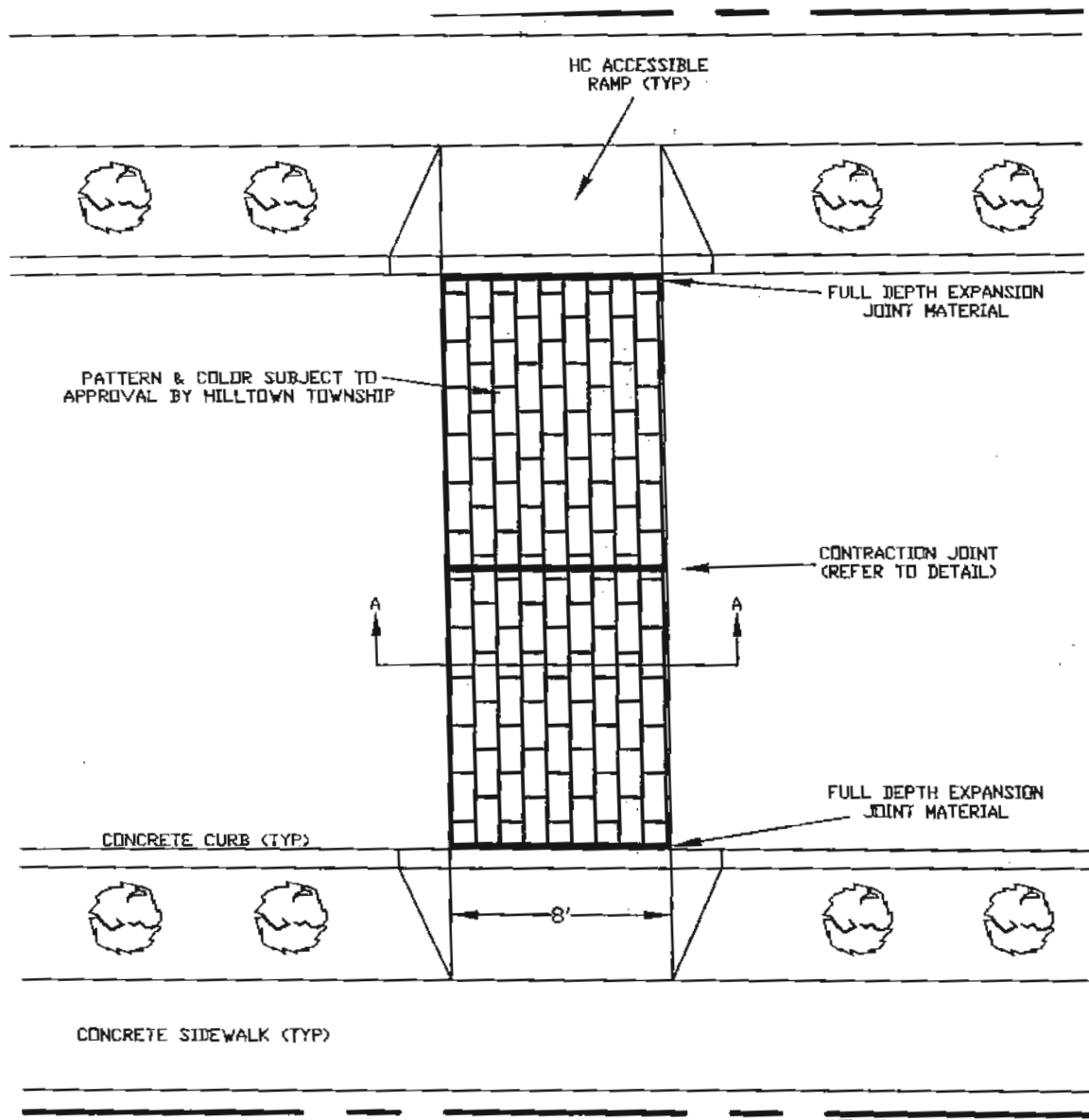
  
\_\_\_\_\_  
Kenneth B. Bennington, Chairman

  
\_\_\_\_\_  
George Egly, Vice Chairman

  
\_\_\_\_\_  
Richard Marfredi, Member

ATTEST:

  
\_\_\_\_\_  
LYNDA SEIMES, Township Secretary

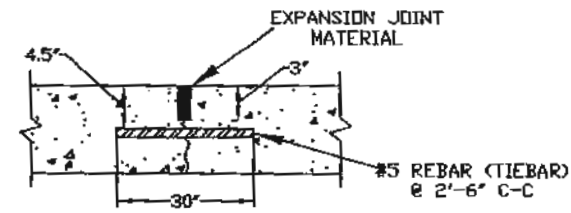


PLAN

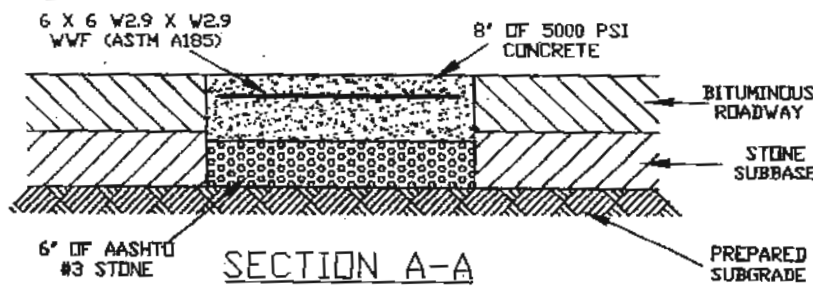
PATTERNED CONCRETE  
CROSSWALK  
(NTS)

NOTES:

1. CONCRETE SHALL BE 5000 PSI (28-DAY STRENGTH) W/ FIBRASOL II MULTIPLUS FIBERS, (1 LB. PER CUBIC YARD)
2. PATTERN MUST BE APPROVED BY HILLTOWN TOWNSHIP.
3. COLOR OF CONCRETE STAIN FOR CROSSWALK MUST BE APPROVED BY HILLTOWN TOWNSHIP.
4. NO VEHICULAR TRAFFIC IS PERMITTED OVER CROSSWALK FOR A MINIMUM OF 7 DAYS FOLLOWING INSTALLATION.
5. EDGE OF EXISTING BITUMINOUS ROADWAY MUST BE SAWCUT TO PROVIDE A STRAIGHT, CLEAN EDGE PRIOR TO INSTALLATION OF CROSSWALK.
6. WHERE CROSSWALK ENDOACHES BELGIAN BLOCK CURB RESIDUAL BLOCK FOUNDATION MUST BE REMOVED BY WAY OF SAWCUT TO PROVIDE A CLEAN, STRAIGHT EDGE FOR EXPANSION MATERIAL.
7. CONCRETE MUST BE INSTALLED IN ACCORDANCE WITH ACI 305R-99 & 306R-88 (R1997) SPECIFICATIONS FOR HOT WEATHER & COLD WEATHER CONCRETE INSTALLATION.
8. WELDED WIRE FABRIC MUST BE PLACED 2.5 INCHES FROM THE FINISHED SURFACE.
9. ALL MATERIALS AND INSTALLATION MUST CONFORM TO PENNDOT PUBLICATION 406, LATEST EDITION.
10. IF ADDITIONAL CONCRETE WORKABILITY IS NECESSARY A "CATEXOL 1000" WATER REDUCER OR SUPERPLASTICIZER SHALL BE UTILIZED, ADDITION OF MIXING WATER IS NOT PERMITTED.



CONTRACTION JOINT  
(NTS)



SECTION A-A

APPENDIX G

## APPENDIX H

### Concrete Specifications

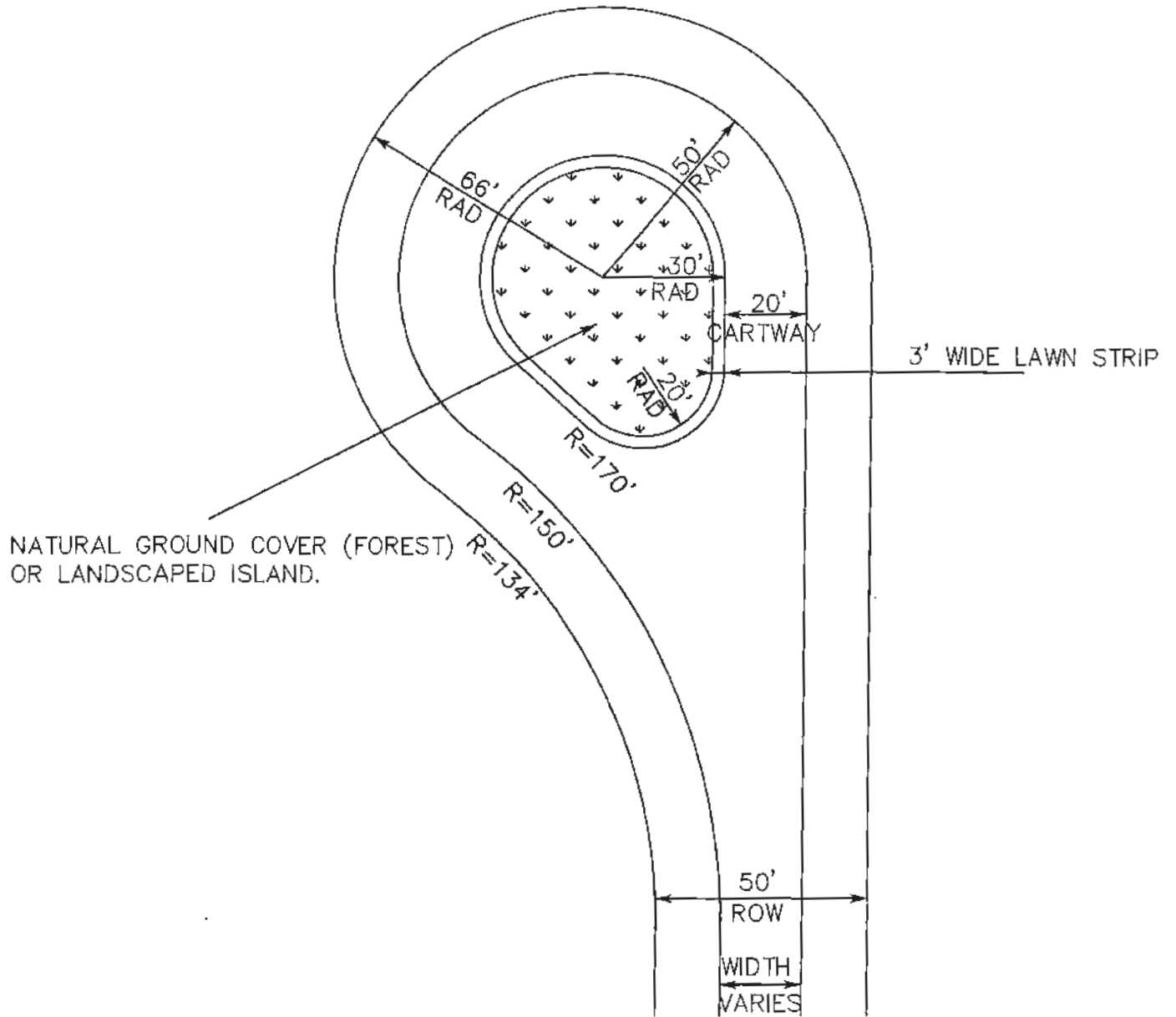
1. Concrete must be class AA, 4,000 PSI (28-day strength), except as otherwise identified in this Ordinance.
2. Public Sidewalk and driveway aprons (located within the right-of-way) must be installed in accordance with American Concrete Institute (ACI) 306R-88 specifications for cold weather concrete installation. Cold weather is defined as a period of more than three consecutive days where average daily temperature is forecast to be less than 40 degrees (F) and where air temperature is forecast to be less than 50 degrees (F) for more than 12 hours.
3. Mixing water is not permitted to be added to the batch after concrete is dispatched from the plant. Concrete batch ticket must be submitted to the inspector at time of pour and must identify concrete strength and slump. Concrete that has been supplemented with additional mixing water will be rejected.
4. No additives are permitted after the concrete is dispatched from the plant.
5. Air-entrained admixtures are not permitted for concrete placed during non "cold weather" conditions and where freezing temperature (32 degrees (F) or less) are not expected during the curing period.
6. Water reducing admixtures are not permitted for concrete placed during "cold weather" conditions, as they also act as retarding admixtures. Use of water reducing admixtures must be approved by the Township Engineer.
7. Superplasticizing admixtures are not permitted for concrete placed during "cold weather" conditions, as they also act as retarding admixtures. Use of superplasticizing admixtures must be approved by the Township Engineer.
8. Set-retarding admixtures are not permitted for concrete placed during "cold weather" conditions. Use of set-retarding admixtures must be approved by the Township Engineer. Set-retarding admixtures must be added to the mixing water at the batch plant. Set-retarding admixture content may never exceed 0.10% by weight of cement (1.5 ounces per 100 pounds of cementitious material) in the concrete mix and may only be utilized during hot weather conditions. (greater than 85 degrees (F))
9. Set-accelerating admixtures (such as calcium chloride) must be approved by the Township Engineer; and shall only be used with 5,000 PSI (28-day strength) concrete. (in lieu of 4,000 PSI) Set-accelerating admixtures are only permitted for use during "cold weather" conditions. If approved by the Township Engineer, accelerator may not exceed 2% by weight of cement in the batch and must be added to the mixing water at the plant. Addition of accelerator to the batch after dispatch from the plant is not permitted. Use of accelerators with sulfate resistant cement is prohibited. Calcium chloride (or other "chloride" additives) may not be used in reinforced concrete.
10. Cold Weather Concrete Installation:
  - A. Concrete installed during cold-weather conditions must be 5,000 PSI (28-day strength).
  - B. Concrete may not be installed when air temperature is less than 35 degrees (F).

## APPENDIX H

- C. Concrete may not be set on frozen ground, snow or ice. Ground temperature must be at least 35 degrees (F) and stone subbase and embedded reinforcement (welded wire fabric, reinforcing bars, etc.) must be protected from freezing for at least 24 hours prior to placement.
- D. All concrete must be air-entrained for "cold weather" placement. Air entrainment shall be 4% to 7% of the concrete volume.
- E. Concrete must be protected from freezing with insulating blankets, enclosure, or heaters. Concrete must be sufficiently protected to maintain a temperature of at least 50 degrees (F) for the entire protection period. Concrete protection (insulating blankets, etc.) must remain in place for a minimum of three (3) days after placement. (protection period) Maximum permitted drop in concrete temperature over the 24-hour period following the end of the protection period, shall be 50 degrees (F).
- F. Concrete must be placed and properly finished in sufficient time to maintain a minimum surface temperature of 55 degrees (F) at time of placement of temperature protection (insulating blankets).
- G. Mixing temperature of concrete (at the plant) must be at least 60 degrees (F). Temperature of concrete at time of placement will be measured by the township inspector and must be at least 55 degrees (F), otherwise, concrete will be rejected.
- H. Mixing water is not permitted to be added to the batch to improve workability, after concrete is dispatched from the plant.



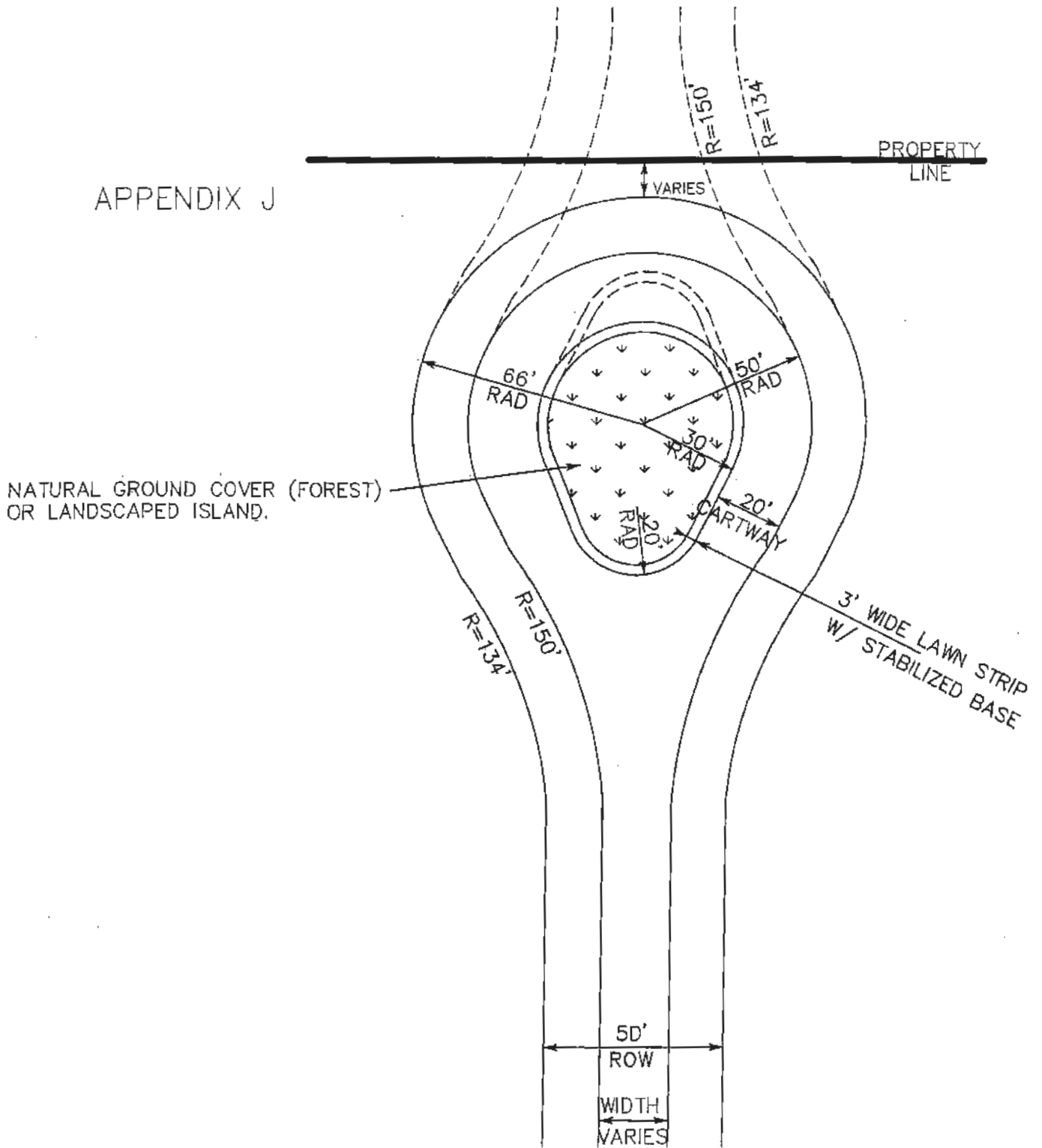
APPENDIX I



PERMANENT CUL-DE-SAC  
TURNAROUND BULB WITH  
LANDSCAPED ISLAND

NOT TO SCALE

APPENDIX J



TEMPORARY CUL-DE-SAC  
TURNAROUND BULB WITH  
LANDSCAPED ISLAND

NOT TO SCALE