

**AGENDA**  
**HILLTOWN TOWNSHIP**  
**BOARD OF SUPERVISORS**  
**WORKSESSION MEETING**  
**Monday, September 9, 2024**

**Next Ordinance # 2024-004**

**Next Resolution # 2024-017**

Meeting Called to Order: Pledge of Allegiance:

- |             |             |
|-------------|-------------|
| • CT _____  | • CEE _____ |
| • JCG _____ | • JDW _____ |
| • JAM _____ | • WA _____  |
| • DF _____  | • ME _____  |

1. Announcements:

- a. Executive Session

2. Consent Agenda:

*[Items of business and matters listed under the Consent Agenda are considered to be routine and non-controversial and will be enacted by one motion and one vote. There will be no separate discussion of these items. If discussion is desired by Board Members, that item will be identified and removed from the Consent Agenda and will be considered separately at the appropriate place on the agenda.]*

- a. Minutes of the August 26, 2024, Board of Supervisors Meeting  
b. Bills List: September 10, 2024  
c. Financial Report: August 31, 2024

As Written: \_\_\_\_\_ With Corrections: \_\_\_\_\_

JCG: \_\_\_\_\_ CT: \_\_\_\_\_ JAM: \_\_\_\_\_

3. Confirmed Appointment:

- a. None

4. Legal: Solicitor's Report:

- a. ZHB Appeal 2024-007 Waste Management of PA, Inc - 4622 Bethlehem Pike, Requesting Special Exception  
b. ZHB 2024-008 Dana Hillerby – 237 Mill Rd., Requesting Variance

5. Planning:

- a. None

6. Engineering:

a. None

7. Unfinished Business:

a. None

8. New Business:

a. Approval of Resolution 2024-016 for the Submission of a LSA Grant Application

b. Motion to accept and utilize American Rescue Plan Act Grant funding in accordance with the published Final Rules for use

c. Budget Discussion for American Rescue Plan Act Grant Funding

d. H&K Extension of Hours – October 1-31, 2024

9. Supervisor's Comments:

10. Public Comment:

11. Press Conference:

12. Adjournment:

\_\_\_\_\_Time

**MINUTUES from  
August 26, 2024  
BOS MTG.**

**HILLTOWN TOWNSHIP BOARD OF SUPERVISORS  
REGULAR MEETING  
MONDAY, AUGUST 26, 2024**

The regular meeting of the Hilltown Township Board of Supervisors was called to order by Chairman Caleb Torrice at 7:00 PM and opened with the Pledge of Allegiance. Also in attendance were Vice Chairman James Groff, Supervisor Joseph Metzinger, Township Manager Deanna Ferry, Township Solicitor Jack Wuerstle, Township Engineer Timothy Fulmer, and Chief of Police Christopher Engelhart.

1. ANNOUNCEMENTS: Chairman Torrice announced there was an Executive Session on August 19, 2024, to discuss historical financial practices that could potentially lead to some potential litigation. Chairman Torrice also announced there was an executive session held prior to the meeting to discuss Linke litigation, zoning issues on Fairhill Road, and a real estate matter on Rickert Road.

2. CONSENT AGENDA:

- a) Minutes of the July 22, 2024, Board of Supervisors Meeting
- b) Bills List: August 13, 2024
- c) Bills List: August 27, 2024
- d) Financial Report: July 31, 2024
- e) 2025 MMO for the Hilltown Township Uniform Employee Police Pension Plan
- f) 2025 MMO for the Hilltown Township Non-Uniform Employee Pension Plan

A motion was made by Supervisor Metzinger, seconded by Vice Chairman Groff, and carried unanimously to approve items 3(a) through 3(f) on the Consent Agenda. There was no public comment.

3. CONFIRMED APPOINTMENT:

a.) 309 Connector Update – Representative Shelby Labs: Supervisor Metzinger gave a recap on the progress update and then introduced Representative Shelby Labs who gave a further update of the 309 Connector project and acknowledged the concerns of the residents to PennDOT and the results of PennDOT's response. Chairman Torrice opened the floor to public comment, at which time five residents commented separately.

4. LEGAL:

a.) Ordinance 2024-003 – relating to Revise Chapter 124 (Sewers) Article II, Section 8 the General Regulations on PH Standard Limits for Wastewater & to Revise the Industrial Pretreatment Limitations in Wastewater: Solicitor Wuerstle requested a motion to pass Ordinance 2024-003. Motion was made by Vice Chairman Groff, seconded by Supervisor Metzinger, and carried unanimously to pass Ordinance 2024-003, to Revise Chapter 124 (Sewers) Article II, Section 8 the General Regulations on PH Standard Limits for Wastewater & to Revise the Industrial Pretreatment Limitations in Wastewater. There was no public comment.



Board of Supervisors  
August 26, 2024

5. PLANNING:

a) Inline 309 Land Development: Township Engineer Tim Fulmer stated that Mr. Reago is interested in obtaining approval for a 50ft x 50ft addition through a waiver of land development. Mr. Fulmer advised that the Planning Commission voted to have the Board of Supervisors consider granting the waiver of land development to the applicant at their meeting last week. Mr. Reago made additional comments on the project. A motion was made by Supervisor Metzinger, seconded by Vice Chairman Groff, and carried unanimously to grant a land development waiver to Inline 309 contingent upon the items contained in Wynn Associates review letter dated August 20, 2024. There was no public comment.

6. ENGINEERING: None.

7. UNFINISHED BUSINESS:

a) ARPA Discussion: Comments from Supervisor Metzinger and Chairman Torrice focused on discussing the funds at the upcoming September 9, 2024 Executive Session. Township Manager Deanna Ferry commented on the same. There was no public comment.

8. NEW BUSINESS:

a) H&K Extension of Hours – September 1 – 30, 2024: Motion was made by Vice Chairman Groff, seconded by Supervisor Metzinger, and carried unanimously to grant the extension of hours between September 1, 2024, and September 30, 2024, for the Concrete Batch Plant at Rahns Construction Materials Co., and the Asphalt Batch Plant and Crushing Plant at the Chalfont Quarry per the letter dated August 19, 2024, with the exception of striking the part in the letter in regard to "and/or private customers". There was no public comment.

b) Salt Bids for 2024/2025 Season: Dr. Ferry stated that Morton Salt, Inc. was awarded the consortium's bid in the amount of \$60.95 per ton delivered and \$60.00 per ton undelivered. Motion was made by Supervisor Metzinger and seconded by Vice Chairman Groff, and carried unanimously to accept the bid of Morton Salt, Inc. in the amount of \$60.95 per ton delivered and \$60.00 per ton undelivered for the 2024-2025 period. There was no public comment.

c) Dr. Ferry advised the Board that a motion was needed to reinstate the Township leaf collection program this fall. A motion was made by Vice Chairman Groff and seconded by Supervisor Metzinger, and carried unanimously to reinstate the Township leaf collection program this fall. There was no public comment.

9. SUPERVISOR'S COMMENTS: Supervisor Metzinger acknowledged the coordinated response that our community receives from all of the First Responders, in particular the Fire Companies, with regard to the recent fire at Grandview Hospital. Chairman Torrice encourage the public to attend the next meeting to discuss expanding our Parks and Recreation programs. There was no public comment.

10. PUBLIC COMMENT: None.

11. PRESS CONFERENCE: None.

Page 3  
Board of Supervisors  
August 26, 2024

12. ADJOURNMENT: Upon motion by Vice Chairman Groff and seconded by Supervisor Metzinger and carried unanimously, the August 26, 2024, Hilltown Township Board of Supervisors meeting was adjourned at 7:28 PM.

Respectfully submitted,

Deanna Ferry, DPA  
Township Manager

(\*NOTE: These minutes were transcribed from notes and recordings and should not be considered official until approved by the Board of Supervisors at a public meeting).



**HILLTOWN TOWNSHIP**

**BILLS LIST SUMMARY**

**AUGUST 21, 2024 to SEPTEMBER 6,  
2024**

**DUE DATE - SEPTEMBER 10, 2024**

General Fund	\$	136,721.17
Park & Recreation Fund	\$	2,287.13
Stormwater System Reserve Fund	\$	808.25
State Highway Aid Fund	\$	18,432.82
Escrow Fund	\$	40,623.58
Total All Funds	\$	198,872.95

Printed By: Supervisor

### AP Invoice Summary Report

Invoice #	Inv Date	Post Date	Pay Term	PO #	1099 Urg	Bank #	Reference	Description	Invoice Amt
<b>Vendor #: ACTIVATE (ACTIVATE CANOPY - EVIN)</b>									
1573	09/05/24	09/05/24	0 % 0 NET 0		0	1 1		PD/EVENT CANOPY	1,049.00
<i>ACTIVATE: 1 Record(s)</i>								<b>Total for ACTIVATE :</b>	<b>1,049.00</b>
<b>Vendor #: ARMOUR (ARMOUR &amp; SONS ELECTRIC, INC.)</b>									
9100	08/15/24	08/15/24	0 % 0 NET 0		0	1 1		RT 113/CALLOWHILL	318.80
910040511	08/15/24	08/15/24	0 % 0 NET 0		0	1 1		RT 113/BETH PK	105.00
910040515	08/15/24	08/15/24	0 % 0 NET 0		0	1 1		BETH PK/RELIANCE RD	105.00
910040545	08/22/24	08/22/24	0 % 0 NET 0		0	1 1		RT 113/HILLTOWN PLAZ.	483.80
910040551	08/22/24	08/22/24	0 % 0 NET 0		0	1 1		RT 113/HILLTOWN PLAZ.	325.00
<i>ARMOUR: 5 Record(s)</i>								<b>Total for ARMOUR :</b>	<b>1,337.60</b>
<b>Vendor #: ASSOCIATED (Associated Imaging Solutions, Inc.)</b>									
510534	09/03/24	09/03/24	0 % 0 NET 0		0	1 1		ADMIN/CONTRACTED C	180.40
<i>ASSOCIATED: 1 Record(s)</i>								<b>Total for ASSOCIATED :</b>	<b>180.40</b>
<b>Vendor #: BERKHEIMER (H. A. BERKHEIMER, INC.)</b>									
148	08/30/24	08/30/24	0 % 0 NET 0		0	1 1		EIT	18.46
<i>BERKHEIMER: 1 Record(s)</i>								<b>Total for BERKHEIMER :</b>	<b>18.46</b>
<b>Vendor #: BR SCHOLL (B.R. SCHOLL SALES &amp; SERVICE, INC.)</b>									
117357	08/22/24	08/22/24	0 % 0 NET 0		0	1 1		PW/2021 MACK INSPECT	96.00
<i>BR SCHOLL: 1 Record(s)</i>								<b>Total for BR SCHOLL :</b>	<b>96.00</b>
<b>Vendor #: BRITTON (BRITTON INDUSTRIES)</b>									
1172117	08/22/24	08/22/24	0 % 0 NET 0		0	1 1		TOPSOIL/MORGAN SIDE	159.60
<i>BRITTON: 1 Record(s)</i>								<b>Total for BRITTON :</b>	<b>159.60</b>
<b>Vendor #: CARGO (CARGO TRAILER SALES, INC.)</b>									
209937	08/29/24	08/29/24	0 % 0 NET 0		0	1 1		PW/SUPPLIES	177.47
<i>CARGO: 1 Record(s)</i>								<b>Total for CARGO :</b>	<b>177.47</b>
<b>Vendor #: COMCAST (Comcast)</b>									
081624	08/16/24	08/16/24	0 % 0 NET 0		0	1 1		ADMIN INTERNET	255.05
081724	08/17/24	08/17/24	0 % 0 NET 0		0	1 1		PD/CABLE	22.42
<i>COMCAST: 2 Record(s)</i>								<b>Total for COMCAST :</b>	<b>277.47</b>
<b>Vendor #: DAVIDHEIS (DAVIDHEISER'S INC.)</b>									
28781	08/14/24	08/14/24	0 % 0 NET 0		0	1 1		PD/VASCAR TEST	42.00
<i>DAVIDHEIS: 1 Record(s)</i>								<b>Total for DAVIDHEIS :</b>	<b>42.00</b>
<b>Vendor #: DE LAGE (DE LAGE LANDEN)</b>									
588251016	08/22/24	08/22/24	0 % 0 NET 0		0	1 1		PD/ADMIN COPIER LEAS	575.12
<i>DE LAGE: 1 Record(s)</i>								<b>Total for DE LAGE :</b>	<b>575.12</b>
<b>Vendor #: DEBBIE'S (DEBBIE'S CLEANING)</b>									
12820	08/25/24	08/25/24	0 % 0 NET 0		0	1 1		OFFICE CLEANING	1,180.00
<i>DEBBIE'S: 1 Record(s)</i>								<b>Total for DEBBIE'S :</b>	<b>1,180.00</b>
<b>Vendor #: DVHT (DELAWARE VALLEY HEALTH TRUST)</b>									
27710	09/01/24	09/01/24	0 % 0 NET 0		0	1 1		HEALTH/DENTAL/SEPT	84,256.01
<i>DVHT: 1 Record(s)</i>								<b>Total for DVHT :</b>	<b>84,256.01</b>
<b>Vendor #: EASTERN (EASTERN WAREHOUSE DISTRUBTORS, LLC)</b>									
51V875568	09/03/24	09/03/24	0 % 0 NET 0		0	1 1		PW/#54/WIX BASE	33.67
51V875579	09/03/24	09/03/24	0 % 0 NET 0		0	1 1		PW/#48/SEALED BEAMS	49.00
51V875580	09/03/24	09/03/24	0 % 0 NET 0		0	1 1		PW/#48/SEALED BEAMS	24.50
<i>EASTERN: 3 Record(s)</i>								<b>Total for EASTERN :</b>	<b>107.17</b>

Printed By: Supervisor

### AP Invoice Summary Report

Invoice #	Inv Date	Post Date	Pay Term	PO #	1099 Urg	Bank #	Reference	Description	Invoice Amt
<b>Vendor #: ECYNBRO (ECYNBRO TRUCKING)</b>									
145309	08/21/24	08/21/24	0 % 0 NET 0		0	1 1		CONCRETE DELIVERY//A	320.00
145347	08/22/24	08/22/24	0 % 0 NET 0		0	1 1		CONCRETE DELIVERY//A	320.00
145383	08/23/24	08/23/24	0 % 0 NET 0		0	1 1		CONCRETE DELIVERY//A	320.00
145437	08/26/24	08/26/24	0 % 0 NET 0		0	1 1		CONCRETE DELIVERY//A	420.00
145485	08/27/24	08/27/24	0 % 0 NET 0		0	1 1		CONCRETE DELIVERY//A	320.00
145529	08/28/24	08/28/24	0 % 0 NET 0		0	1 1		CONCRETE DELIVERY//A	320.00
145566	08/29/24	08/29/24	0 % 0 NET 0		0	1 1		CONCRETE DELIVERY//A	320.00
<i>ECYNBRO: 7 Record(s)</i>								<b>Total for ECYNBRO :</b>	<b>2,340.00</b>
<b>Vendor #: EGAN (MARIANNE EGAN)</b>									
0+90424	09/04/24	09/04/24	0 % 0 NET 0		0	1 1		REIMBURSEMENT/SUPP	74.18
<i>EGAN: 1 Record(s)</i>								<b>Total for EGAN :</b>	<b>74.18</b>
<b>Vendor #: GRIM (GRIM, BIEHN &amp; THATCHER)</b>									
226832	07/31/24	07/31/24	0 % 0 NET 0		0	1 1		ZHB 2024-005/HOLLENB.	677.17
226833	07/31/24	07/31/24	0 % 0 NET 0		0	1 1		ZHB 2024-006/ROUSE	671.02
<i>GRIM: 2 Record(s)</i>								<b>Total for GRIM :</b>	<b>1,348.19</b>
<b>Vendor #: GROVE J (JOSHUA GROVE)</b>									
090424	09/24/24	09/24/24	0 % 0 NET 0		0	1 1		REIMB GLOVES	15.87
<i>GROVE J: 1 Record(s)</i>								<b>Total for GROVE J :</b>	<b>15.87</b>
<b>Vendor #: H &amp; K (H &amp; K MATERIALS)</b>									
44615	08/17/24	08/17/24	0 % 0 NET 0		0	1 1		ROAD MATERIAL	1,296.26
<i>H &amp; K: 1 Record(s)</i>								<b>Total for H &amp; K :</b>	<b>1,296.26</b>
<b>Vendor #: HOME (HOME DEPOT CREDIT SERVICES)</b>									
082824	08/28/24	08/28/24	0 % 0 NET 0		0	1 1		PW SUPPLIES	284.90
<i>HOME: 1 Record(s)</i>								<b>Total for HOME :</b>	<b>284.90</b>
<b>Vendor #: HOOVER (HOOVER STEEL INC)</b>									
338332	08/29/24	08/29/24	0 % 0 NET 0		0	1 1		PW/EQUIPMENT	50.00
<i>HOOVER: 1 Record(s)</i>								<b>Total for HOOVER :</b>	<b>50.00</b>
<b>Vendor #: IT BUSI (IT BUSINESS SOLUTIONS, INC.)</b>									
5367	09/01/24	09/01/24	0 % 0 NET 0		0	1 1		ADMIN/MONTHLY MAIN	822.00
5368	09/01/24	09/01/24	0 % 0 NET 0		0	1 1		PD/MONTHLY MAINT	849.00
<i>IT BUSI: 2 Record(s)</i>								<b>Total for IT BUSI :</b>	<b>1,671.00</b>
<b>Vendor #: KEYSTONE G (KEYSTONE COLLECTIONS GROUP)</b>									
4611092300869	08/26/24	08/26/24	0 % 0 NET 0		0	1 1		LST	40.04
<i>KEYSTONE G: 1 Record(s)</i>								<b>Total for KEYSTONE G :</b>	<b>40.04</b>
<b>Vendor #: LANDIS (LANDIS BLOCK AND CONCRETE)</b>									
1037504	08/21/24	08/21/24	0 % 0 NET 0		0	1 1		MORGAN LN ADA RAMF	610.50
1037678	08/22/24	08/22/24	0 % 0 NET 0		0	1 1		MORGAN ADA RAMP	441.75
1037797	08/23/24	08/23/24	0 % 0 NET 0		0	1 1		MORGAN ADA RAMP	327.50
1037992	08/26/24	08/26/24	0 % 0 NET 0		0	1 1		MORGAN ADA RAMP	195.00
1038156	08/27/24	08/27/24	0 % 0 NET 0		0	1 1		MORGAN ADA RAMP	337.50
1038248	08/28/24	08/28/24	0 % 0 NET 0		0	1 1		MORGAN ADA RAMP	201.00
1038390	08/29/24	08/29/24	0 % 0 NET 0		0	1 1		ORCHARD ADA RAMP	474.00
<i>LANDIS: 7 Record(s)</i>								<b>Total for LANDIS :</b>	<b>2,587.25</b>
<b>Vendor #: MACMILLIAN (Macmillan Oil Co., of Allentown)</b>									
3000767	08/15/24	08/15/24	0 % 0 NET 0		0	1 1		PW/DRUM/BULK OIL	1,595.00
<i>MACMILLIAN: 1 Record(s)</i>								<b>Total for MACMILLIAN :</b>	<b>1,595.00</b>
<b>Vendor #: MAGLOCLEN (MAGLOCLEN)</b>									
11329	08/23/24	08/23/24	0 % 0 NET 0		0	1 1		PD/MEMBERSHIP	400.00
<i>MAGLOCLEN: 1 Record(s)</i>								<b>Total for MAGLOCLEN :</b>	<b>400.00</b>
<b>Vendor #: MG FINANCL (MG FINANCIAL)</b>									
33634	08/30/24	08/30/24	0 % 0 NET 0		0	1 1		ADMIN/POST BASE LEA:	135.00
<i>MG FINANCL: 1 Record(s)</i>								<b>Total for MG FINANCL :</b>	<b>135.00</b>

Printed By: Supervisor

### AP Invoice Summary Report

Invoice #	Inv Date	Post Date	Pay Term	PO #	1099 Urg	Bank #	Reference	Description	Invoice Amt	
<b>Vendor #: MOTOROLA (MOTOROLA SOLUTIONS, INC.)</b>										
8281966111	08/28/24	08/28/24	0 % 0 NET 0		0	1 1		PD/SUPPLIES	342.00	
<i>MOTOROLA: 1 Record(s)</i>									<b>Total for MOTOROLA :</b>	<b>342.00</b>
<b>Vendor #: PECO (PECO ENERGY COMPANY)</b>										
083024	08/03/24	08/30/24	0 % 0 NET 0		0	1 1		RT 309	30.77	
<i>PECO: 1 Record(s)</i>									<b>Total for PECO :</b>	<b>30.77</b>
<b>Vendor #: PERKIOMENW (PERKIOMEN WATERSHED CONSERVANCY)</b>										
090424	09/04/24	09/04/24	0 % 0 NET 0		0	1 1		2025 MEMBERSHIP	500.00	
<i>PERKIOMENW: 1 Record(s)</i>									<b>Total for PERKIOMENW :</b>	<b>500.00</b>
<b>Vendor #: PPL (PPL ELECTRIC UTILITIES)</b>										
080424413	08/14/24	08/14/24	0 % 0 NET 0		0	1 1		WALNUT/APPLEWOOD	36.42	
081524097	08/15/24	08/15/24	0 % 0 NET 0		0	1 1		CALLOWHILL RD BLINK	24.78	
081524177	08/15/24	08/15/24	0 % 0 NET 0		0	1 1		CALLOWHILL RD FLASH	24.73	
081524366	08/15/24	08/15/24	0 % 0 NET 0		0	1 1		PW BLDG	329.28	
081524759	08/15/24	08/15/24	0 % 0 NET 0		0	1 1		SALT SHED/POLE BARN	56.71	
081524801	08/15/24	08/15/24	0 % 0 NET 0		0	1 1		RT 113/CALLOWHILL RD	35.15	
081524947	08/15/24	08/15/24	0 % 0 NET 0		0	1 1		GREEN ST	31.24	
0815824373	08/15/24	08/15/24	0 % 0 NET 0		0	1 1		TWP BLDG	1,161.30	
082024589	08/20/24	08/20/24	0 % 0 NET 0		0	1 1		DIAMOND FLASHING	25.68	
082024975	08/20/24	08/20/24	0 % 0 NET 0		0	1 1		HILLTOWN PK/CALLOW	35.57	
082224229	08/22/24	08/22/24	0 % 0 NET 0		0	1 1		RT 113/DIAMOND	31.80	
082224435	08/22/24	08/22/24	0 % 0 NET 0		0	1 1		RICKERT ROAD	24.73	
082224441	08/22/24	08/22/24	0 % 0 NET 0		0	1 1		RICKERT RD	24.73	
082324741	08/23/24	08/23/24	0 % 0 NET 0		0	1 1		HILLTOWN PK FLASHIN	25.56	
0823624697	08/23/24	08/23/24	0 % 0 NET 0		0	1 1		HILLTOWN PK/SWARTLI	26.11	
082624564	08/26/24	08/26/24	0 % 0 NET 0		0	1 1		HILLTOWN PK/LIMEKIL	37.84	
082824074	08/28/24	08/28/24	0 % 0 NET 0		0	1 1		STREET LIGHTS	3,689.80	
082824512	08/28/24	08/28/24	0 % 0 NET 0		0	1 1		ARBORS LED LIGHTS	186.91	
<i>PPL: 18 Record(s)</i>									<b>Total for PPL :</b>	<b>5,808.34</b>
<b>Vendor #: PSATSCDL (PSATS CDL PROGRAM)</b>										
15837023L4	08/22/24	08/22/24	0 % 0 NET 0		0	1 1		PW/CDL TEST	55.00	
<i>PSATSCDL: 1 Record(s)</i>									<b>Total for PSATSCDL :</b>	<b>55.00</b>
<b>Vendor #: REESE'S (REESE'S GARAGE, INC.)</b>										
64622	08/19/24	08/19/24	0 % 0 NET 0		0	1 1		PD/36-11/LUBE/OIL/FILT	206.57	
64623	08/05/24	08/05/24	0 % 0 NET 0		0	1 1		PD/36-09/BELTS	235.29	
64624	08/07/24	08/07/24	0 % 0 NET 0		0	1 1		PD/36-05/WATER PUMP/E	550.18	
64681	08/09/24	08/09/24	0 % 0 NET 0		0	0 1		PD/36-08/BATTERY	251.18	
64746	08/19/24	08/19/24	0 % 0 NET 0		0	1 1		PD/36-06/LUBE/OI/FILTE	133.65	
64837	08/29/24	08/29/24	0 % 0 NET 0		0	1 1		PD/36-01/AIR FILTER/BU	104.57	
<i>REESE'S: 6 Record(s)</i>									<b>Total for REESE'S :</b>	<b>1,481.44</b>
<b>Vendor #: RICHTER (RICHTER TOTAL OFFICE)</b>										
1934780	08/16/24	08/16/24	0 % 0 NET 0		0	1 1		MOBILE SHREDDING	200.00	
1935075	08/21/24	08/21/24	0 % 0 NET 0		0	1 1		ADMIN/PD SUPPLIES	89.06	
1935347	08/22/24	08/22/24	0 % 0 NET 0		0	1 1		ADMIN SUPPLIES	387.68	
<i>RICHTER: 3 Record(s)</i>									<b>Total for RICHTER :</b>	<b>676.74</b>
<b>Vendor #: SIMONS (LLOYD J. SIMONS CONCRETE, INC.)</b>										
081924	08/19/24	08/19/24	0 % 0 NET 0		0	1 1		ORCHARD ADA RAMP	5,000.00	
082724	08/27/24	08/27/24	0 % 0 NET 0		0	1 1		ORCHARD ADA RAMP	5,000.00	
<i>SIMONS: 2 Record(s)</i>									<b>Total for SIMONS :</b>	<b>10,000.00</b>
<b>Vendor #: STANDARD (STANDARD INSURANCE COMPANY)</b>										
081524	08/15/24	08/15/24	0 % 0 NET 0		0	1 1		LIFE/DISABILITY	4,279.23	
<i>STANDARD: 1 Record(s)</i>									<b>Total for STANDARD :</b>	<b>4,279.23</b>
<b>Vendor #: STARBRITE (STAR BRITE CAR WASH)</b>										
HT45	09/01/24	09/01/24	0 % 0 NET 0		0	1 1		PD/VEHICLE DETAILS	78.00	
<i>STARBRITE: 1 Record(s)</i>									<b>Total for STARBRITE :</b>	<b>78.00</b>

Printed By: Supervisor

### AP Invoice Summary Report

Invoice #	Inv Date	Post Date	Pay Term	PO #	1099 Urg	Bank #	Reference	Description	Invoice Amt
<b>Vendor #: SUBURBAN (SUBURBAN PROPANE)</b>									
600716	08/26/24	08/26/24	0 % 0 NET 0		0	1 1		PW/DIESEL FUEL	497.42
600753	09/03/24	09/03/24	0 % 0 NET 0		0	1 1		PW/DIESEL FUEL	335.40
<i>SUBURBAN: 2 Record(s)</i>								<b>Total for SUBURBAN :</b>	<b>832.82</b>
<b>Vendor #: TIFCO (TIFCO INDUSTRIES)</b>									
72008089	08/19/24	08/19/24	0 % 0 NET 0		0	1 1		PW/SUPPLIES	199.44
<i>TIFCO: 1 Record(s)</i>								<b>Total for TIFCO :</b>	<b>199.44</b>
<b>Vendor #: TRANSUNION (TransUnion Risk and Alternative)</b>									
202408	09/01/24	09/01/24	0 % 0 NET 0		0	1 1		PD/MONTHLY	78.40
<i>TRANSUNION: 1 Record(s)</i>								<b>Total for TRANSUNION :</b>	<b>78.40</b>
<b>Vendor #: TRIAD TRUC (TRIAD TRUCK EQUIPMENT, INC.)</b>									
0209488	08/19/24	08/19/24	0 % 0 NET 0		0	1 1		PD/EQUIPMENT REPAIR	533.00
0209657	08/28/24	08/28/24	0 % 0 NET 0		0	1 1		PW/SUPPLIES	729.00
<i>TRIAD TRUC: 2 Record(s)</i>								<b>Total for TRIAD TRUC :</b>	<b>1,262.00</b>
<b>Vendor #: TRM (TELFORD RECYCLING &amp; MATERIALS)</b>									
8051	08/19/24	08/19/24	0 % 0 NET 0		0	1 1		MORGAN DUMPING	90.00
8063	08/19/24	08/19/24	0 % 0 NET 0		0	1 1		MORGAN DUMPING	90.00
<i>TRM: 2 Record(s)</i>								<b>Total for TRM :</b>	<b>180.00</b>
<b>Vendor #: VERIZON NY (VERIZON)</b>									
082724	08/27/24	08/27/24	0 % 0 NET 0		0	1 1		PD/FIOS	99.00
<i>VERIZON NY: 1 Record(s)</i>								<b>Total for VERIZON NY :</b>	<b>99.00</b>
<b>Vendor #: WAST (WM CORPORATE SERVICES, INC.)</b>									
3505578	08/16/24	08/16/24	0 % 0 NET 0		0	1 1		TRASH COLLECTION	1,060.52
<i>WAST: 1 Record(s)</i>								<b>Total for WAST :</b>	<b>1,060.52</b>
<b>Vendor #: WEX BANK (WEX BANK)</b>									
99384654	08/31/24	08/31/24	0 % 0 NET 0		0	1 1		DIESEL/GASOLINE	5,312.54
<i>WEX BANK: 1 Record(s)</i>								<b>Total for WEX BANK :</b>	<b>5,312.54</b>
<b>Vendor #: WYNN ASSOC (WYNN ASSOCIATES, INC.)</b>									
082324	08/23/24	08/23/24	0 % 0 NET 0		0	1 1		PROFESSIONAL	3,150.94
<i>WYNN ASSOC: 1 Record(s)</i>								<b>Total for WYNN ASSOC :</b>	<b>3,150.94</b>
<i>Report: 94 Record(s)</i>								<b>Total for this Report :</b>	<b>136,721.17</b>

**CRITERIA**

Detail Report Sorted by Vendor # + Invoice #

- Specific Option(s):
- 1.) Include Regular Invoices
  - 2.) Include Debit Invoices
  - 3.) Include Prepayment Invoices

Filter(s):  
Entry Date: 09/05/24

Printed By: Supervisor

## AP Invoice Summary Report

<u>Invoice #</u>	<u>Inv Date</u>	<u>Post Date</u>	<u>Pay Term</u>	<u>PO #</u>	<u>1099 Urg</u>	<u>Bank #</u>	<u>Reference</u>	<u>Description</u>	<u>Invoice Amt</u>	
<b>Vendor #: CONSERVATN (CONSERVATION RESOURCES, LLC)</b>										
42741	08/21/24	08/21/24	0 % 0 NET 0	0	1	05		FOREST RD PK/FENCE	505.50	
<i>CONSERVATN: 1 Record(s)</i>									<b>Total for CONSERVATN :</b>	<b>505.50</b>
<b>Vendor #: FRANKEN JS (JESSICA FRANKENFIELD)</b>										
090524	09/05/24	09/05/24	0 % 0 NET 0	0	1	05		REIMB SECURITY DEPO	100.00	
<i>FRANKEN JS: 1 Record(s)</i>									<b>Total for FRANKEN JS :</b>	<b>100.00</b>
<b>Vendor #: LITTLE'S (ROBERT E. LITTLE, INC.)</b>										
1120993	07/25/24	07/25/24	0 % 0 NET 0	0	1	05		MOWER MAINT	540.34	
1126804	08/19/24	08/19/24	0 % 0 NET 0	0	1	05		MOWER SUPPLIES	523.26	
1127839	08/22/24	08/22/24	0 % 0 NET 0	0	1	05		MOWER BLADE (BALAN	42.00	
1130525	09/04/24	09/04/24	0 % 0 NET 0	0	1	05		MOWER SUPPLIES	125.75	
<i>LITTLE'S: 4 Record(s)</i>									<b>Total for LITTLE'S :</b>	<b>1,231.35</b>
<b>Vendor #: PORTABOWL (PORT A BOWL RESTROOM COMPANY)</b>										
25296	09/01/24	09/01/24	0 % 0 NET 0	0	1	05		CIVIC PK RESTROOMS	284.43	
<i>PORTABOWL: 1 Record(s)</i>									<b>Total for PORTABOWL :</b>	<b>284.43</b>
<b>Vendor #: PPL (PPL ELECTRIC UTILITIES)</b>										
082024963	08/20/24	08/20/24	0 % 0 NET 0	0	1	05		CIVIC PARK	165.85	
<i>PPL: 1 Record(s)</i>									<b>Total for PPL :</b>	<b>165.85</b>
<i>Report: 8 Record(s)</i>									<b>Total for this Report :</b>	<b>2,287.13</b>

### CRITERIA

Detail Report Sorted by Vendor # +  
Invoice #

- Specific Option(s):
- 1.) Include Regular Invoices
  - 2.) Include Debit Invoices
  - 3.) Include Prepayment Invoices

Filter(s):  
Entry Date: 09/05/24



Printed By: Supervisor

### AP Invoice Summary Report

<u>Invoice #</u>	<u>Inv Date</u>	<u>Post Date</u>	<u>Pay Term</u>	<u>PO #</u>	<u>1099 Urg</u>	<u>Bank #</u>	<u>Reference</u>	<u>Description</u>	<u>Invoice Amt</u>	
<b>Vendor #:</b> COMMONWEAH (COMMONWEALTH PRECAST, INC.)										
29987	08/30/24	08/30/24	0 % 0 NET 0	0	1	33		SWM/FRETZ RD	500.00	
<i>COMMONWEAH: 1 Record(s)</i>									<b>Total for COMMONWEAH :</b>	<b>500.00</b>
<b>Vendor #:</b> EUREKA (EUREKA STONE QUARRY)										
622323	08/29/24	08/29/24	0 % 0 NET 0	0	1	33		SWM/SCHOOLHOUSE RI	186.45	
<i>EUREKA: 1 Record(s)</i>									<b>Total for EUREKA :</b>	<b>186.45</b>
<b>Vendor #:</b> MOYER I/O (MOYER INDOOR / OUTDOOR)										
309926	08/29/24	08/29/24	0 % 0 NET 0	0	1	33		STORMWATER MGMT SU	109.00	
<i>MOYER I/O: 1 Record(s)</i>									<b>Total for MOYER I/O :</b>	<b>109.00</b>
<b>Vendor #:</b> WYNN ASSOC (WYNN ASSOCIATES, INC)										
082324	08/23/24	08/23/24	0 % 0 NET 0	0	1	33		PROFESSIONAL	12.80	
<i>WYNN ASSOC: 1 Record(s)</i>									<b>Total for WYNN ASSOC :</b>	<b>12.80</b>
<i>Report: 4 Record(s)</i>									<b>Total for this Report :</b>	<b>808.25</b>

#### CRITERIA

Detail Report Sorted by Vendor # +  
Invoice #

- Specific Option(s):
- 1.) Include Regular Invoices
  - 2.) Include Debit Invoices
  - 3.) Include Prepayment Invoices

Filter(s):  
Entry Date: 09/05/24

Printed By: Supervisor

### AP Invoice Summary Report

<u>Invoice #</u>	<u>Inv Date</u>	<u>Post Date</u>	<u>Pay Term</u>	<u>PO #</u>	<u>1099 Urg Bank #</u>	<u>Reference</u>	<u>Description</u>	<u>Invoice Amt</u>
<b>Vendor #:</b> 44615	H & K (H & K Materials)							
	08/17/24	08/17/24	0 % 0 NET 0	0	1 35		HILLCREST ROAD PROJ	18,432.82
<i>H &amp; K: 1 Record(s)</i>							<b>Total for H &amp; K :</b>	<b>18,432.82</b>
<i>Report: 1 Record(s)</i>							<b>Total for this Report :</b>	<b>18,432.82</b>

#### CRITERIA

Detail Report Sorted by Vendor # +  
Invoice #

- Specific Option(s):
- 1.) Include Regular Invoices
  - 2.) Include Debit Invoices
  - 3.) Include Prepayment Invoices

Filter(s):  
Entry Date: 09/05/24

Printed By: Supervisor

### AP Invoice Summary Report

<u>Invoice #</u>	<u>Inv Date</u>	<u>Post Date</u>	<u>Pay Term</u>	<u>PO #</u>	<u>1099 Urg Bank #</u>	<u>Reference</u>	<u>Description</u>	<u>Invoice Amt</u>
<b>Vendor #: CHESTER (Chester Chrzanowski)</b>								
090424	09/04/24	09/04/24	0 % 0 NET 0	0	192		ESCROW RELEASE #7	17,381.03
<i>CHESTER: 1 Record(s)</i>							<b>Total for CHESTER :</b>	<b>17,381.03</b>
<b>Vendor #: GR CONSTRC (GR CONSTRUCTION)</b>								
090524	09/05/24	09/05/24	0 % 0 NET 0	0	1		ESCROW RELEASE	1,000.00
<i>GR CONSTRC: 1 Record(s)</i>							<b>Total for GR CONSTRC :</b>	<b>1,000.00</b>
<b>Vendor #: M. GOLD (M GOLD)</b>								
090524	09/05/24	09/05/24	0 % 0 NET 0	0	1		ESCROW RELEASE	10,831.89
<i>M. GOLD: 1 Record(s)</i>							<b>Total for M. GOLD :</b>	<b>10,831.89</b>
<b>Vendor #: SCHWEITZER (JONATHAN SCHWEITZER)</b>								
090524	09/05/24	09/05/24	0 % 0 NET 0	0	192		ESCROW RELEASE	3,631.18
<i>SCHWEITZER: 1 Record(s)</i>							<b>Total for SCHWEITZER :</b>	<b>3,631.18</b>
<b>Vendor #: TRUCKSESS (TRUCKSESS CAR WASH)</b>								
090524	09/05/24	09/05/24	0 % 0 NET 0	0	1		ESCROW RELEASE	1,549.79
<i>TRUCKSESS: 1 Record(s)</i>							<b>Total for TRUCKSESS :</b>	<b>1,549.79</b>
<b>Vendor #: WYNN ASSOC (WYNN ASSOCIATES, INC.)</b>								
082324	08/23/24	08/23/24	0 % 0 NET 0	0	192		PROFESSIONAL/AUGUS'	6,229.69
<i>WYNN ASSOC: 1 Record(s)</i>							<b>Total for WYNN ASSOC :</b>	<b>6,229.69</b>
<i>Report: 6 Record(s)</i>							<b>Total for this Report :</b>	<b>40,623.58</b>

#### CRITERIA

Detail Report Sorted by Vendor # + Invoice #

- Specific Option(s):
- 1.) Include Regular Invoices
  - 2.) Include Debit Invoices
  - 3.) Include Prepayment Invoices

Filter(s):  
Entry Date: 09/05/24



**Hilltown Township  
Financial Report  
August 31, 2024**

<b><u>Fund No.</u></b>	<b><u>Account</u></b>	<b><u>Balance</u></b>
01	General Fund	\$ 3,273,906.90
01	Payroll Checking	\$ 646.85
02	General Reserve Fund	\$ 2,506,961.73
03	Fire Fund	\$ 81,280.16
05	Park And Recreation Fund	\$ 336,289.92
13	Street Light Fund	\$ 100,953.90
30	Capital Projects Fund	\$ 642,864.05
31	Recreation Capital Reserve Fund	\$ 779,923.31
32	Open Space Fund	\$ 1,949,096.72
33	Stormwater System Reserve Fund	\$ 2,888,448.58
34	Road Equipment Fund	\$ 2,123,365.61
35	State Highway Aid Fund	\$ 1,153,775.37
95	Operating Reserve Fund	\$ 1,989,679.90
97	American Rescue Plan Act Fund	\$ 859,926.96
09	On-Lot Sewer Maintenance Escrow Accounts	\$ 528,456.67
92	Developer's Escrow Account	\$ 1,241,887.55

## GENERAL FUND Budgeted Revenue and Expense Statement

Aug 24 Actual vs Budget ID [BUD2024] (Year2024)

		Annual <u>Budget</u>	Period-to-Date <u>Actual</u>	Year-to-Date <u>Actual</u>	<u>Remaining</u>	<u>%</u>
<b>Receipts</b>						
<b>REAL PROPERTY TAX</b>						
01-301-100	Real Estate Taxes - Current Year	1,753,001.00	28,963.51	1,692,482.13	60,518.87	96.55 %
01-301-200	Real Estate Taxes - Prior Year	15,000.00	686.28	9,201.44	5,798.56	61.34 %
<b>Total REAL PROPERTY TAX</b>		<b>1,768,001.00</b>	<b>29,649.79</b>	<b>1,701,683.57</b>	<b>66,317.43</b>	<b>96.25 %</b>
<b>ACT 511 TAXES</b>						
01-310-020	Per Capita Taxes - Prior Year	0.00	0.00	0.00	0.00	100.00 %
01-310-100	Real Estate Transfer Taxes	280,000.00	46,155.55	249,846.00	30,154.00	89.23 %
01-310-210	Earned Income Taxes - Current Year	2,850,000.00	443,131.93	2,188,353.50	661,646.50	76.78 %
01-310-510	Local Services Taxes	145,000.00	48,506.08	138,596.53	6,403.47	95.58 %
01-310-610	Amusement Tax	2,000.00	556.85	1,727.05	272.95	86.35 %
<b>Total ACT 511 TAXES</b>		<b>3,277,000.00</b>	<b>538,350.41</b>	<b>2,578,523.08</b>	<b>698,476.92</b>	<b>78.69 %</b>
<b>LICENSE AND PERMITS</b>						
01-321-320	Auto Salvage Licenses	0.00	0.00	0.00	0.00	100.00 %
01-321-340	Soliciting Permits	100.00	35.00	625.00	-525.00	625.00 %
01-321-800	Cable Television Franchise Fees	312,000.00	75,007.01	226,216.83	85,783.17	72.51 %
<b>Total LICENSE AND PERMITS</b>		<b>312,100.00</b>	<b>75,042.01</b>	<b>226,841.83</b>	<b>85,258.17</b>	<b>72.68 %</b>
<b>FINES</b>						
01-331-110	Vehicle Code Violations	47,000.00	4,389.05	37,340.71	9,659.29	79.45 %
01-331-120	Ordinance Violations	2,500.00	0.00	9,051.84	-6,551.84	362.07 %
<b>Total FINES</b>		<b>49,500.00</b>	<b>4,389.05</b>	<b>46,392.55</b>	<b>3,107.45</b>	<b>93.72 %</b>
<b>INTEREST EARNINGS</b>						
01-341-010	Interest on Investments	15,000.00	9,949.68	52,364.23	-37,364.23	349.09 %
01-341-020	Interest - Payroll Account	100.00	31.77	275.56	-175.56	275.56 %
<b>Total INTEREST EARNINGS</b>		<b>15,100.00</b>	<b>9,981.45</b>	<b>52,639.79</b>	<b>-37,539.79</b>	<b>348.61 %</b>
<b>RENTS</b>						
01-342-100	Building Rentals	0.00	0.00	0.00	0.00	100.00 %
01-342-300	Cell Tower Rentals	60,000.00	4,697.20	30,058.14	29,941.86	50.10 %
<b>Total RENTS</b>		<b>60,000.00</b>	<b>4,697.20</b>	<b>30,058.14</b>	<b>29,941.86</b>	<b>50.10 %</b>
<b>STATE CAPITAL &amp; OPERATING GRANTS</b>						
01-354-055	Recycling Grant	35,000.00	0.00	100,503.72	-65,503.72	287.15 %
01-354-080	Community Development Block Grant	0.00	0.00	0.00	0.00	100.00 %
<b>Total STATE CAPITAL &amp; OPERATING GRANTS</b>		<b>35,000.00</b>	<b>0.00</b>	<b>100,503.72</b>	<b>-65,503.72</b>	<b>287.15 %</b>
<b>STATE SHARED REVENUE &amp; ENTITLEMENTS</b>						
01-355-010	Public Utility Realty Tax	6,000.00	0.00	0.00	6,000.00	0.00 %
01-355-040	Alcoholic Beverage Licenses	1,500.00	0.00	1,500.00	0.00	100.00 %
01-355-050	Pension System State Aid	285,000.00	0.00	0.00	285,000.00	0.00 %
01-355-070	Foreign Fire Insurance Tax	142,000.00	0.00	0.00	142,000.00	0.00 %
<b>Total STATE SHARED REVENUE &amp; ENTITLEMENTS</b>		<b>434,500.00</b>	<b>0.00</b>	<b>1,500.00</b>	<b>433,000.00</b>	<b>0.35 %</b>
<b>GENERAL GOVERNMENT</b>						
01-361-100	Escrow Administration Fee	15,000.00	0.00	0.00	15,000.00	0.00 %
01-361-310	Subdivision/Land Development Fees	5,000.00	0.00	5,600.00	-600.00	112.00 %
01-361-315	Stormwater Review Fees	3,500.00	100.00	2,200.00	1,300.00	62.86 %
01-361-320	Engineering Site Reviews	7,500.00	1,500.00	6,000.00	1,500.00	80.00 %
01-361-340	Hearing Fees	10,000.00	2,000.00	8,850.00	1,150.00	88.50 %

## GENERAL FUND Budgeted Revenue and Expense Statement

Aug 24 Actual vs Budget ID [BUD2024] (Year2024)

		Annual <u>Budget</u>	Period-to-Date <u>Actual</u>	Year-to-Date <u>Actual</u>	<u>Remaining</u>	<u>%</u>
01-361-500	Sale of Maps and Publications	0.00	0.00	47.50	-47.50	100.00 %
Total GENERAL GOVERNMENT		<b>41,000.00</b>	<b>3,600.00</b>	<b>22,697.50</b>	<b>18,302.50</b>	55.36 %
<b>PUBLIC SAFETY</b>						
01-362-105	Reimbursable Police Services	50,000.00	4,159.99	46,879.35	3,120.65	93.76 %
01-362-106	Silverdale Police Contract	-139,235.00	0.00	58,014.60	-197,249.60	41.67 %
01-362-110	Sale of Accident Reports	6,000.00	810.00	4,997.50	1,002.50	83.29 %
01-362-120	Security Alarm Installation Fees	100.00	10.00	40.00	60.00	40.00 %
01-362-140	False Alarm Fees	-1,000.00	75.00	1,825.00	-2,825.00	182.50 %
01-362-150	Sale of Police Photographs	100.00	0.00	810.00	-710.00	810.00 %
01-362-160	UCC Fees	500.00	1.50	154.50	345.50	30.90 %
01-362-400	Zoning Permits	12,500.00	2,650.00	20,950.00	-8,450.00	167.60 %
01-362-410	Building Permits	200,000.00	27,059.75	182,850.25	17,149.75	91.43 %
01-362-420	Electrical Permits	20,000.00	5,930.00	34,484.00	-14,484.00	172.42 %
01-362-430	Plumbing Permits	12,500.00	2,575.00	17,302.00	-4,802.00	138.42 %
01-362-446	Sign Permits	5,000.00	100.00	9,532.22	-4,532.22	190.64 %
01-362-447	Well Permits	800.00	0.00	650.00	150.00	81.25 %
01-362-449	Swimming Pool Permits	12,500.00	1,000.00	10,100.00	2,400.00	80.80 %
01-362-450	Use and Occupancy Permits	15,000.00	1,825.00	12,300.00	2,700.00	82.00 %
01-362-451	Mechanical Permits	9,500.00	5,200.00	27,849.50	-18,349.50	293.15 %
01-362-452	Demolition Permits	1,000.00	375.00	600.00	400.00	60.00 %
Total PUBLIC SAFETY		<b>205,265.00</b>	<b>51,771.24</b>	<b>429,338.92</b>	<b>-224,073.92</b>	209.16 %
<b>HIGHWAYS &amp; STREETS</b>						
01-363-100	Public Works - Contracted Services	1,000.00	100.00	1,300.00	-300.00	130.00 %
01-363-230	Host Fees	72,000.00	0.00	54,000.00	18,000.00	75.00 %
01-363-520	Snow Removal - Dublin Borough	500.00	0.00	500.00	0.00	100.00 %
01-363-521	Snow Removal - Silverdale Borough	0.00	0.00	0.00	0.00	100.00 %
01-363-530	Traffic Signals - New Britain Twp.	500.00	0.00	96.17	403.83	19.23 %
01-363-540	Traffic Signals-Hilltown Crossing	5,000.00	0.00	8,315.93	-3,315.93	166.32 %
Total HIGHWAYS & STREETS		<b>79,000.00</b>	<b>100.00</b>	<b>64,212.10</b>	<b>14,787.90</b>	81.28 %
<b>MISCELLANEOUS REVENUE</b>						
01-380-100	Miscellaneous	0.00	787.00	16,049.89	-16,049.89	100.00 %
01-380-200	Reimbursements	10,000.00	1,852.38	9,732.39	267.61	97.32 %
01-380-400	Royalties (H & K)	100,000.00	0.00	88,074.46	11,925.54	88.07 %
Total MISCELLANEOUS REVENUE		<b>110,000.00</b>	<b>2,639.38</b>	<b>113,856.74</b>	<b>-3,856.74</b>	103.51 %
<b>CONTRIBUTIONS &amp; DONATIONS</b>						
01-387-040	Contributions	0.00	0.00	0.00	0.00	100.00 %
01-387-100	Employee Medical Plan	67,000.00	4,974.10	44,968.69	22,031.31	67.12 %
01-387-101	Employee Dental Plan	0.00	0.00	0.00	0.00	100.00 %
Total CONTRIBUTIONS & DONATIONS		<b>67,000.00</b>	<b>4,974.10</b>	<b>44,968.69</b>	<b>22,031.31</b>	67.12 %
<b>REIMBURSEMENTS</b>						
01-389-100	Prior Year Expenses	0.00	0.00	0.00	0.00	100.00 %
Total REIMBURSEMENTS		<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	100.00 %
<b>SALE OF FIXED ASSETS</b>						
01-391-100	Sale of Surplus Property	5,000.00	0.00	14,994.40	-9,994.40	299.89 %
Total SALE OF FIXED ASSETS		<b>5,000.00</b>	<b>0.00</b>	<b>14,994.40</b>	<b>-9,994.40</b>	299.89 %
<b>INTERFUND TRANSFERS</b>						
01-392-100	From General Fund Reserve	0.00	0.00	0.00	0.00	100.00 %
01-392-300	From Park & Recreation Fund	0.00	0.00	0.00	0.00	100.00 %

## GENERAL FUND Budgeted Revenue and Expense Statement

Aug 24 Actual vs Budget ID [BUD2024] (Year2024)

		Annual <u>Budget</u>	Period-to-Date <u>Actual</u>	Year-to-Date <u>Actual</u>	<u>Remaining</u>	<u>%</u>
01-392-400	From Escrow Fund	0.00	0.00	433.99	-433.99	100.00 %
01-392-500	From Operating Reserve Fund	0.00	0.00	0.00	0.00	100.00 %
01-392-600	From Stormwater System Reserve	0.00	0.00	433.99	-433.99	100.00 %
01-396-100	From General Fund Reserve	0.00	0.00	0.00	0.00	100.00 %
01-396-200	From Capital Reserve Fund	0.00	0.00	0.00	0.00	100.00 %
01-396-300	From Park and Recreation Fund	0.00	0.00	0.00	0.00	100.00 %
<b>Total INTERFUND TRANSFERS</b>		<b>0.00</b>	<b>0.00</b>	<b>867.98</b>	<b>-867.98</b>	<b>100.00 %</b>
<b>Fund Balance Appropriated</b>						
01-399-000	Fund Balance Appropriated	0.00	0.00	0.00	0.00	100.00 %
<b>Total Fund Balance Appropriated</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>Total Receipts</b>		<b>6,458,466.00</b>	<b>725,194.63</b>	<b>5,429,079.01</b>	<b>1,029,386.99</b>	<b>84.06 %</b>
<b>Operating Expenses</b>						
<b>LEGISLATIVE BODY</b>						
01-400-113	Salaries and Wages	12,375.00	1,031.25	8,250.00	4,125.00	66.67 %
01-400-152	Dental Insurance	1,978.00	156.32	1,353.41	624.59	68.42 %
01-400-156	Medical Insurance	54,359.00	3,802.97	36,352.37	18,006.63	66.87 %
01-400-158	Life Insurance	552.00	0.00	368.00	184.00	66.67 %
01-400-161	Social Security Taxes	947.00	78.87	630.96	316.04	66.63 %
01-400-342	Printing	100.00	0.00	79.00	21.00	79.00 %
01-400-355	Public Official Liability Insurance	26,982.00	0.00	21,679.00	5,303.00	80.35 %
01-400-420	Dues, Subscriptions, & Memberships	3,436.00	0.00	3,488.00	-52.00	101.51 %
01-400-460	Meetings and Training	1,600.00	0.00	493.00	1,107.00	30.81 %
<b>Total LEGISLATIVE BODY</b>		<b>102,329.00</b>	<b>5,069.41</b>	<b>72,693.74</b>	<b>29,635.26</b>	<b>71.04 %</b>
<b>ADMINISTRATION</b>						
01-401-121	Salaries and Wages	135,514.00	11,923.20	90,233.52	45,280.48	66.59 %
01-401-123	Salary - Assistant Manager	0.00	0.00	0.00	0.00	100.00 %
01-401-130	SALARY-BUILDING INSPECTOR	0.00	0.00	0.00	0.00	100.00 %
01-401-132	SALARY - ZONING OFFICER	0.00	0.00	0.00	0.00	100.00 %
01-401-140	SALARY - TREASURER	0.00	0.00	0.00	0.00	100.00 %
01-401-141	SALARY - SECRETARY	0.00	0.00	0.00	0.00	100.00 %
01-401-142	SALARY - ADMIN. ASSISTANT	0.00	0.00	0.00	0.00	100.00 %
01-401-143	SALARY-ASST. BOOKKEEPER	0.00	0.00	0.00	0.00	100.00 %
01-401-144	TEMPORARY SECRETARY	0.00	0.00	0.00	0.00	100.00 %
01-401-149	OVERTIME	0.00	0.00	0.00	0.00	100.00 %
01-401-152	Dental Insurance	1,246.00	0.00	514.25	731.75	41.27 %
01-401-153	Disability Insurance	1,276.00	0.00	531.65	744.35	41.67 %
01-401-156	Medical Insurance	13,773.00	1,463.50	7,202.30	6,570.70	52.29 %
01-401-158	Life Insurance	138.00	0.00	57.50	80.50	41.67 %
01-401-160	Pension	14,408.00	0.00	0.00	14,408.00	0.00 %
01-401-161	Social Security Taxes	12,238.00	1,024.08	7,453.82	4,784.18	60.91 %
01-401-162	Unemployment Compensation	385.00	0.00	385.00	0.00	100.00 %
01-401-164	Sick Time Buyback	5,238.00	0.00	0.00	5,238.00	0.00 %
01-401-182	Longevity	5,450.00	0.00	0.00	5,450.00	0.00 %
01-401-210	Office Supplies	12,500.00	872.21	9,433.41	3,066.59	75.47 %
01-401-325	Postage	0.00	0.00	0.00	0.00	100.00 %
01-401-342	Printing	250.00	79.00	79.00	171.00	31.60 %
01-401-354	Workers Compensation Insurance	143.00	0.00	143.00	0.00	100.00 %
01-401-420	Dues, Subscriptions & Memberships	250.00	0.00	39.00	211.00	15.60 %
01-401-460	Meetings and Training	800.00	179.00	229.00	571.00	28.63 %
<b>Total ADMINISTRATION</b>		<b>203,609.00</b>	<b>15,540.99</b>	<b>116,301.45</b>	<b>87,307.55</b>	<b>57.12 %</b>
<b>FINANCIAL ADMINISTRATION</b>						

## GENERAL FUND Budgeted Revenue and Expense Statement

Aug 24 Actual vs Budget ID [BUD2024] (Year2024)

		Annual <u>Budget</u>	Period-to-Date <u>Actual</u>	Year-to-Date <u>Actual</u>	<u>Remaining</u>	<u>%</u>
01-402-140	Salaries and Wages	82,800.00	6,369.60	57,326.42	25,473.58	69.23 %
01-402-150	Salaries and Wages	0.00	0.00	35,170.52	-35,170.52	100.00 %
01-402-152	Dental Insurance	617.00	51.45	411.60	205.40	66.71 %
01-402-153	Disability Insurance	1,084.00	0.00	722.88	361.12	66.69 %
01-402-156	Medical Insurance	15,604.00	921.90	10,024.49	5,579.51	64.24 %
01-402-158	Life Insurance	276.00	0.00	184.00	92.00	66.67 %
01-402-160	Pension	9,027.00	0.00	0.00	9,027.00	0.00 %
01-402-161	Social Security Taxes	10,708.00	487.28	7,206.08	3,501.92	67.30 %
01-402-162	Unemployment Compensation	385.00	0.00	385.00	0.00	100.00 %
01-402-164	Sick Time Buyback	3,185.00	0.00	0.00	3,185.00	0.00 %
01-402-182	Longevity	1,700.00	0.00	1,700.00	0.00	100.00 %
01-402-210	Office Supplies	250.00	0.00	0.00	250.00	0.00 %
01-402-310	Professional Services	15,000.00	0.00	26,500.00	-11,500.00	176.67 %
01-402-342	Printing	1,000.00	0.00	2,074.25	-1,074.25	207.43 %
01-402-354	Workers' Compensation Insurance	91.00	0.00	91.00	0.00	100.00 %
01-402-420	Dues, Subscriptions & Memberships	150.00	0.00	39.00	111.00	26.00 %
01-402-460	Meetings and Training	400.00	0.00	0.00	400.00	0.00 %
<b>Total FINANCIAL ADMINISTRATION</b>		<b>142,277.00</b>	<b>7,830.23</b>	<b>141,835.24</b>	<b>441.76</b>	<b>99.69 %</b>
<b>TAX COLLECTION</b>						
01-403-114	Real Estate Taxes	28,022.00	0.00	28,022.14	-0.14	100.00 %
01-403-116	Earned Income Tax	47,000.00	1.18	30,857.36	16,142.64	65.65 %
01-403-119	Local Services Taxes	4,500.00	0.00	2,603.65	1,896.35	57.86 %
01-403-161	Social Security Taxes	2,570.00	0.00	2,569.48	0.52	99.98 %
01-403-210	Operating Supplies	150.00	0.00	0.00	150.00	0.00 %
01-403-230	Heating Fuel	0.00	0.00	0.00	0.00	100.00 %
01-403-325	Postage	2,000.00	0.00	1,452.93	547.07	72.65 %
01-403-342	Printing	450.00	0.00	583.03	-133.03	129.56 %
01-403-353	Bonding	0.00	0.00	0.00	0.00	100.00 %
01-403-361	ELECTRICITY	0.00	0.00	0.00	0.00	100.00 %
01-403-420	Dues, Subscriptions and Memberships	50.00	0.00	50.00	0.00	100.00 %
01-403-460	Meetings and Training	0.00	0.00	0.00	0.00	100.00 %
<b>Total TAX COLLECTION</b>		<b>84,742.00</b>	<b>1.18</b>	<b>66,138.59</b>	<b>18,603.41</b>	<b>78.05 %</b>
<b>LEGAL SERVICES</b>						
01-404-314	Township Solicitor	50,000.00	8,173.81	52,670.20	-2,670.20	105.34 %
01-404-315	Special Legal Services	0.00	0.00	0.00	0.00	100.00 %
<b>Total LEGAL SERVICES</b>		<b>50,000.00</b>	<b>8,173.81</b>	<b>52,670.20</b>	<b>-2,670.20</b>	<b>105.34 %</b>
<b>GENERAL GOVERNMENT</b>						
01-406-320	Communications	7,000.00	591.73	4,314.38	2,685.62	61.63 %
01-406-325	Postage	1,500.00	517.50	1,738.50	-238.50	115.90 %
01-406-341	Advertising	9,000.00	0.00	6,280.82	2,719.18	69.79 %
01-406-384	Equipment Leasing	6,200.00	0.00	3,447.49	2,752.51	55.60 %
01-406-450	Codification	7,500.00	0.00	1,660.00	5,840.00	22.13 %
<b>Total GENERAL GOVERNMENT</b>		<b>31,200.00</b>	<b>1,109.23</b>	<b>17,441.19</b>	<b>13,758.81</b>	<b>55.90 %</b>
<b>TECHNOLOGY</b>						
01-407-250	Minor Equipment	0.00	0.00	0.00	0.00	100.00 %
01-407-318	Software License Fees	3,250.00	1,850.00	2,427.36	822.64	74.69 %
01-407-450	Contracted Services	11,000.00	822.00	9,242.15	1,757.85	84.02 %
01-407-451	Payroll processing expense	11,500.00	865.85	9,133.55	2,366.45	79.42 %
01-407-460	Meetings and Training	0.00	0.00	0.00	0.00	100.00 %
<b>Total TECHNOLOGY</b>		<b>25,750.00</b>	<b>3,537.85</b>	<b>20,803.06</b>	<b>4,946.94</b>	<b>80.79 %</b>
<b>ENGINEERING SERVICES</b>						



## GENERAL FUND Budgeted Revenue and Expense Statement

Aug 24 Actual vs Budget ID [BUD2024] (Year2024)

		Annual <u>Budget</u>	Period-to-Date <u>Actual</u>	Year-to-Date <u>Actual</u>	<u>Remaining</u>	<u>%</u>
01-408-313	Township Engineer	35,000.00	0.00	27,618.00	7,382.00	78.91 %
Total ENGINEERING SERVICES		<b>35,000.00</b>	<b>0.00</b>	<b>27,618.00</b>	<b>7,382.00</b>	78.91 %
<b>BUILDINGS AND GROUNDS</b>						
01-409-230	Heating Fuel	9,500.00	0.00	3,952.02	5,547.98	41.60 %
01-409-360	Utilities	4,900.00	0.00	3,133.23	1,766.77	63.94 %
01-409-367	Trash Collection	11,000.00	66.58	7,582.10	3,417.90	68.93 %
01-409-373	Maintenance and Repair	50,000.00	2,230.75	20,236.34	29,763.66	40.47 %
01-409-377	Real Estate/School Taxes	2,700.00	0.00	2,688.42	11.58	99.57 %
01-409-450	Contracted Services	6,000.00	0.00	4,632.50	1,367.50	77.21 %
Total BUILDINGS AND GROUNDS		<b>84,100.00</b>	<b>2,297.33</b>	<b>42,224.61</b>	<b>41,875.39</b>	50.21 %
<b>POLICE SERVICES</b>						
01-410-120	Salary - Chief	150,617.00	11,585.60	104,270.40	46,346.60	69.23 %
01-410-121	Salary - Lieutenant	144,650.00	11,126.40	100,137.60	44,512.40	69.23 %
01-410-126	Salaries - Sergeants	760,104.00	58,473.60	526,262.40	233,841.60	69.24 %
01-410-131	Salaries - Officers	1,202,834.00	90,732.80	806,228.80	396,605.20	67.03 %
01-410-140	Salaries - Clerical	118,073.00	9,081.60	81,734.40	36,338.60	69.22 %
01-410-142	Clerical - GRANT	0.00	-9,520.00	2,838.50	-2,838.50	100.00 %
01-410-152	Dental Insurance	30,558.00	2,807.80	22,462.40	8,095.60	73.51 %
01-410-153	Disability Insurance	24,952.00	0.00	16,580.24	8,371.76	66.45 %
01-410-156	Medical Insurance	756,952.00	56,637.98	498,141.28	258,810.72	65.81 %
01-410-157	VEBA Expense	38,927.00	0.00	36,467.09	2,459.91	93.68 %
01-410-158	Life Insurance	5,796.00	0.00	3,864.00	1,932.00	66.67 %
01-410-160	Pension	316,768.00	0.00	40.00	316,728.00	0.01 %
01-410-161	Social Security Taxes	215,448.00	16,232.75	141,858.61	73,589.39	65.84 %
01-410-162	Unemployment Compensation	8,085.00	0.00	9,248.66	-1,163.66	114.39 %
01-410-164	Sick Time Buyback	70,000.00	0.00	0.00	70,000.00	0.00 %
01-410-165	Holiday Pay	161,722.00	0.00	0.00	161,722.00	0.00 %
01-410-170	Academic Allowance	24,960.00	0.00	0.00	24,960.00	0.00 %
01-410-182	Longevity	55,850.00	10,900.00	37,100.00	18,750.00	66.43 %
01-410-183	Overtime	70,000.00	3,992.10	55,692.50	14,307.50	79.56 %
01-410-184	Reimbursable Overtime	50,000.00	6,831.74	63,954.70	-13,954.70	127.91 %
01-410-187	Court On Call Pay	7,500.00	0.00	600.00	6,900.00	8.00 %
01-410-191	Uniform Cleaning Allowance	9,576.00	0.00	9,408.00	168.00	98.25 %
01-410-210	Office Supplies	4,500.00	295.54	5,586.94	-1,086.94	124.15 %
01-410-215	Tactical Supplies	3,500.00	0.00	3,200.00	300.00	91.43 %
01-410-220	Operating Supplies	30,000.00	749.67	18,975.27	11,024.73	63.25 %
01-410-230	Heating Fuel	12,000.00	0.00	1,367.03	10,632.97	11.39 %
01-410-231	Motor Fuel	40,000.00	0.00	31,582.72	8,417.28	78.96 %
01-410-238	Uniforms	8,000.00	-1,101.46	6,696.46	1,303.54	83.71 %
01-410-242	Crime Prevention Expenses	300.00	0.00	0.00	300.00	0.00 %
01-410-260	Minor Equipment	300.00	0.00	0.00	300.00	0.00 %
01-410-300	GRANT-Equip/Supplies/Consultants	0.00	0.00	0.00	0.00	100.00 %
01-410-301	Other Charges	0.00	0.00	0.00	0.00	100.00 %
01-410-318	Software License Fees	7,500.00	0.00	3,477.57	4,022.43	46.37 %
01-410-321	Communications	10,000.00	601.26	5,720.13	4,279.87	57.20 %
01-410-325	Postage	500.00	0.00	0.00	500.00	0.00 %
01-410-342	Printing	750.00	0.00	579.00	171.00	77.20 %
01-410-354	Workers Compensation Insurance	64,911.00	0.00	40,412.50	24,498.50	62.26 %
01-410-355	Police Liability Insurance	16,325.00	0.00	16,313.00	12.00	99.93 %
01-410-361	ELECTRICITY	7,500.00	27.86	4,058.19	3,441.81	54.11 %
01-410-372	Vehicle Operating Expenses	35,000.00	0.00	20,132.79	14,867.21	57.52 %
01-410-374	Vehicle Repairs	3,000.00	0.00	2,980.68	19.32	99.36 %
01-410-384	Equipment Rental	1,400.00	0.00	818.21	581.79	58.44 %
01-410-420	Dues, Subscriptions & Memberships	5,500.00	0.00	10,002.99	-4,502.99	181.87 %
01-410-450	Kennel Services	500.00	0.00	0.00	500.00	0.00 %

## GENERAL FUND Budgeted Revenue and Expense Statement

Aug 24 Actual vs Budget ID [BUD2024] (Year2024)

		Annual <u>Budget</u>	Period-to-Date <u>Actual</u>	Year-to-Date <u>Actual</u>	<u>Remaining</u>	<u>%</u>
01-410-451	Cleaning Services	6,000.00	0.00	4,572.50	1,427.50	76.21 %
01-410-452	Contracted Computer Services	14,000.00	849.00	8,003.25	5,996.75	57.17 %
01-410-460	Meetings and Training	7,500.00	0.00	6,207.10	1,292.90	82.76 %
<b>Total POLICE SERVICES</b>		<b>4,502,358.00</b>	<b>270,304.24</b>	<b>2,707,575.91</b>	<b>1,794,782.09</b>	<b>60.14 %</b>
<b>FIRE PROTECTION</b>						
01-411-354	Workers Compensation Insurance	15,000.00	0.00	14,446.00	554.00	96.31 %
01-411-540	Foreign Fire Insurance Payments	142,000.00	0.00	0.00	142,000.00	0.00 %
<b>Total FIRE PROTECTION</b>		<b>157,000.00</b>	<b>0.00</b>	<b>14,446.00</b>	<b>142,554.00</b>	<b>9.20 %</b>
<b>AMBULANCE SERVICES</b>						
01-412-450	Contracted Services - Ambulance	42,000.00	0.00	0.00	42,000.00	0.00 %
<b>Total AMBULANCE SERVICES</b>		<b>42,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>42,000.00</b>	<b>0.00 %</b>
<b>PLANNING AND ZONING</b>						
01-414-110	Salaries and Wages	127,899.00	8,096.00	87,942.84	39,956.16	68.76 %
01-414-152	Dental Insurance	0.00	0.00	0.00	0.00	100.00 %
01-414-153	Disability Insurance	1,675.00	0.00	909.72	765.28	54.31 %
01-414-156	Medical Insurance	27,546.00	1,147.76	14,920.88	12,625.12	54.17 %
01-414-158	Life Insurance	552.00	0.00	299.00	253.00	54.17 %
01-414-160	Pension	15,283.00	0.00	0.00	15,283.00	0.00 %
01-414-161	Social Security Taxes	12,679.00	707.16	7,999.20	4,679.80	63.09 %
01-414-162	Unemployment Compensation	770.00	0.00	770.00	0.00	100.00 %
01-414-164	Sick Leave Buy-Back	4,919.00	0.00	0.00	4,919.00	0.00 %
01-414-182	Longevity	5,350.00	0.00	1,700.00	3,650.00	31.78 %
01-414-210	Office Supplies	500.00	0.00	15.00	485.00	3.00 %
01-414-231	Gasoline	0.00	0.00	0.00	0.00	100.00 %
01-414-310	Planning Services	0.00	0.00	0.00	0.00	100.00 %
01-414-311	Building Inspection Services	125,000.00	12,723.75	86,135.00	38,865.00	68.91 %
01-414-312	Comprehensive Plan	0.00	0.00	0.00	0.00	100.00 %
01-414-313	Plan Review Services	2,500.00	0.00	275.20	2,224.80	11.01 %
01-414-342	Printing	300.00	0.00	193.83	106.17	64.61 %
01-414-354	Workers Compensation Insurance	141.00	0.00	141.00	0.00	100.00 %
01-414-372	VEHICLE OPERATING	0.00	0.00	0.00	0.00	100.00 %
01-414-420	Dues, Subscriptions & Memberships	50.00	0.00	39.00	11.00	78.00 %
01-414-450	Contracted Services	0.00	0.00	0.00	0.00	100.00 %
01-414-460	Meetings and Training	250.00	0.00	0.00	250.00	0.00 %
<b>Total PLANNING AND ZONING</b>		<b>325,414.00</b>	<b>22,674.67</b>	<b>201,340.67</b>	<b>124,073.33</b>	<b>61.87 %</b>
<b>ZONING HEARING BOARD</b>						
01-419-110	Salaries and Wages	2,500.00	0.00	0.00	2,500.00	0.00 %
01-419-310	Professional Services	15,000.00	227.00	7,633.76	7,366.24	50.89 %
<b>Total ZONING HEARING BOARD</b>		<b>17,500.00</b>	<b>227.00</b>	<b>7,633.76</b>	<b>9,866.24</b>	<b>43.62 %</b>
<b>PUBLIC WORKS-GENERAL SERVICES</b>						
01-430-110	Salaries and Wages	913,078.00	68,481.60	648,380.35	264,697.65	71.01 %
01-430-152	Dental Insurance	10,566.00	983.31	7,866.73	2,699.27	74.45 %
01-430-153	Disability Insurance	11,855.00	0.00	7,633.38	4,221.62	64.39 %
01-430-156	Medical Insurance	304,869.00	21,928.48	200,383.56	104,485.44	65.73 %
01-430-158	Life Insurance	2,896.00	0.00	1,897.50	998.50	65.52 %
01-430-160	Pension	99,485.00	0.00	0.00	99,485.00	0.00 %
01-430-161	Social Security Taxes	71,449.00	5,285.92	53,517.83	17,931.17	74.90 %
01-430-162	Unemployment Compensation	4,235.00	0.00	4,246.55	-11.55	100.27 %
01-430-164	Sick Time Buyback	24,497.00	0.00	0.00	24,497.00	0.00 %
01-430-182	Longevity	29,400.00	0.00	25,300.00	4,100.00	86.05 %
01-430-183	Overtime	5,000.00	615.30	3,195.35	1,804.65	63.91 %

**GENERAL FUND**  
**Budgeted Revenue and Expense Statement**

**Aug 24 Actual vs Budget ID [BUD2024] (Year2024)**

		<u>Annual</u>	<u>Period-to-Date</u>	<u>Year-to-Date</u>	<u>Remaining</u>	<u>%</u>
		<u>Budget</u>	<u>Actual</u>	<u>Actual</u>		
01-430-213	Minor Equipment	5,000.00	0.00	1,569.48	3,430.52	31.39 %
01-430-230	Heating Fuel	16,000.00	0.00	4,157.67	11,842.33	25.99 %
01-430-231	Motor Fuel	4,500.00	0.00	3,215.02	1,284.98	71.44 %
01-430-232	Diesel Fuel	30,000.00	1,211.23	23,544.81	6,455.19	78.48 %
01-430-238	Uniforms	5,000.00	0.00	5,529.88	-529.88	110.60 %
01-430-239	PA One Call Fees	250.00	0.00	196.38	53.62	78.55 %
01-430-240	CDL Testing	500.00	0.00	400.00	100.00	80.00 %
01-430-246	Operating Supplies	35,000.00	1,298.97	18,962.94	16,037.06	54.18 %
01-430-321	Communications	600.00	67.87	517.73	82.27	86.29 %
01-430-342	Printing	250.00	0.00	0.00	250.00	0.00 %
01-430-354	Workers Compensation Insurance	32,387.00	154.00	32,541.00	-154.00	100.48 %
01-430-361	Utilities	6,000.00	0.00	3,065.35	2,934.65	51.09 %
01-430-372	Vehicle Operating Expenses	30,000.00	839.92	28,020.64	1,979.36	93.40 %
01-430-374	Vehicle Repairs	12,500.00	0.00	0.00	12,500.00	0.00 %
01-430-420	Dues, Subscriptions and Memberships	150.00	0.00	39.00	111.00	26.00 %
01-430-450	Contracted Services	0.00	0.00	0.00	0.00	100.00 %
01-430-460	Meetings and Training	750.00	0.00	0.00	750.00	0.00 %
01-430-700	Capital Purchases	0.00	0.00	0.00	0.00	100.00 %
<b>Total PUBLIC WORKS-GENERAL SERVICES</b>		<b>1,656,217.00</b>	<b>100,866.60</b>	<b>1,074,181.15</b>	<b>582,035.85</b>	<b>64.86 %</b>
<b>SNOW AND ICE REMOVAL</b>						
01-432-183	Overtime	30,000.00	0.00	21,656.99	8,343.01	72.19 %
01-432-375	Repairs and Maintenance	1,000.00	0.00	0.00	1,000.00	0.00 %
01-432-450	Contracted Services	0.00	0.00	0.00	0.00	100.00 %
<b>Total SNOW AND ICE REMOVAL</b>		<b>31,000.00</b>	<b>0.00</b>	<b>21,656.99</b>	<b>9,343.01</b>	<b>69.86 %</b>
<b>TRAFFIC SIGNALS AND SIGNS</b>						
01-433-361	Utilities	9,000.00	372.71	5,392.71	3,607.29	59.92 %
01-433-374	Repairs and Maintenance	35,000.00	0.00	22,882.86	12,117.14	65.38 %
<b>Total TRAFFIC SIGNALS AND SIGNS</b>		<b>44,000.00</b>	<b>372.71</b>	<b>28,275.57</b>	<b>15,724.43</b>	<b>64.26 %</b>
<b>STREET LIGHTING</b>						
01-434-361	Utilities	1,500.00	0.00	955.29	544.71	63.69 %
<b>Total STREET LIGHTING</b>		<b>1,500.00</b>	<b>0.00</b>	<b>955.29</b>	<b>544.71</b>	<b>63.69 %</b>
<b>MAINT. &amp; REPAIR TO HIGHWAYS</b>						
01-438-245	Road Material	250,000.00	8,749.58	84,102.52	165,897.48	33.64 %
01-438-246	Operating Supplies	0.00	0.00	0.00	0.00	100.00 %
01-438-384	Equipment Rental	5,000.00	0.00	0.00	5,000.00	0.00 %
<b>Total MAINT. &amp; REPAIR TO HIGHWAYS</b>		<b>255,000.00</b>	<b>8,749.58</b>	<b>84,102.52</b>	<b>170,897.48</b>	<b>32.98 %</b>
<b>CONSTRUCTION &amp; REBUILDING</b>						
01-439-384	Equipment Rental	0.00	0.00	0.00	0.00	100.00 %
01-439-450	Contracted Services	0.00	0.00	0.00	0.00	100.00 %
<b>Total CONSTRUCTION &amp; REBUILDING</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>CONSERVATION &amp; NATURAL RESOURCES</b>						
01-461-310	Professional Services	6,500.00	0.00	7,840.00	-1,340.00	120.62 %
01-461-530	Hazardous Waste Collection	2,500.00	0.00	0.00	2,500.00	0.00 %
01-461-550	Joint Recycling Program	0.00	0.00	49,242.00	-49,242.00	100.00 %
<b>Total CONSERVATION &amp; NATURAL RESOURCES</b>		<b>9,000.00</b>	<b>0.00</b>	<b>57,082.00</b>	<b>-48,082.00</b>	<b>634.24 %</b>
<b>MISCELLANEOUS EXPENSES</b>						
01-459-540	Civic Donations	0.00	0.00	0.00	0.00	100.00 %
01-480-010	Miscellaneous Expenses	0.00	0.00	475.26	-475.26	100.00 %

**GENERAL FUND**  
**Budgeted Revenue and Expense Statement**

**Aug 24 Actual vs Budget ID [BUD2024] (Year2024)**

	<u>Annual Budget</u>	<u>Period-to-Date Actual</u>	<u>Year-to-Date Actual</u>	<u>Remaining</u>	<u>%</u>
Total MISCELLANEOUS EXPENSES	<b>0.00</b>	<b>0.00</b>	<b>475.26</b>	<b>-475.26</b>	100.00 %
<b>INSURANCE AND BONDS</b>					
01-486-100 Property and Liability Insurance	92,589.00	0.00	63,936.75	28,652.25	69.05 %
01-486-200 Professional Bonds	6,000.00	0.00	1,494.00	4,506.00	24.90 %
Total INSURANCE AND BONDS	<b>98,589.00</b>	<b>0.00</b>	<b>65,430.75</b>	<b>33,158.25</b>	66.37 %
<b>OTHER UNCLASSIFIED EXPENSES</b>					
01-493-010 Contingency	0.00	0.00	0.00	0.00	100.00 %
Total OTHER UNCLASSIFIED EXPENSES	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	100.00 %
<b>INTERFUND TRANSFERS</b>					
01-492-100 To Capital Reserve Fund	0.00	0.00	0.00	0.00	100.00 %
01-492-200 To Operating Reserve Fund	0.00	0.00	0.00	0.00	100.00 %
01-492-300 Transfer to General Reserve Fund	0.00	0.00	0.00	0.00	100.00 %
01-499-100 To Capital Projects Fund	0.00	0.00	0.00	0.00	100.00 %
01-499-200 To Operating Reserve Fund	0.00	0.00	0.00	0.00	100.00 %
01-499-300 To Stormwater Reserve	0.00	0.00	0.00	0.00	100.00 %
01-499-400 Transfer to General Reserve Fund	0.00	0.00	0.00	0.00	100.00 %
01-499-500 Transfer to Road Equipment Fund	0.00	0.00	0.00	0.00	100.00 %
01-499-600 Transfer to Recreation Capital Fund	0.00	0.00	0.00	0.00	100.00 %
Total INTERFUND TRANSFERS	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	100.00 %
<b>Total Operating Expenses</b>	<b>7,898,585.00</b>	<b>446,754.83</b>	<b>4,820,881.95</b>	<b>3,077,703.05</b>	61.03 %
<b>* Net Surplus &lt;Deficit&gt; *</b>		<b>1,171,949.46</b>	<b>10,249,960.96</b>	<b>4,107,090.04</b>	71.39 %

## FIRE FUND Budgeted Revenue and Expense Statement

Aug 24 Actual vs Budget ID [BUD2024] (Year2024)

	<u>Annual Budget</u>	<u>Period-to-Date Actual</u>	<u>Year-to-Date Actual</u>	<u>Remaining</u>	<u>%</u>
<b>Receipts</b>					
<b>REAL PROPERTY TAXES</b>					
03-301-100 Real Estate Taxes - Current Year	180,360.00	2,975.79	173,992.28	6,367.72	96.47 %
03-301-200 Real Estate Taxes - Prior Year	2,500.00	70.51	727.05	1,772.95	29.08 %
<b>Total REAL PROPERTY TAXES</b>	<b>182,860.00</b>	<b>3,046.30</b>	<b>174,719.33</b>	<b>8,140.67</b>	<b>95.55 %</b>
<b>INTEREST EARNINGS</b>					
03-341-030 Interest on Investments	600.00	241.33	1,593.48	-993.48	265.58 %
<b>Total INTEREST EARNINGS</b>	<b>600.00</b>	<b>241.33</b>	<b>1,593.48</b>	<b>-993.48</b>	<b>265.58 %</b>
<b>FUND BALANCE APPROPRIATED</b>					
03-399-000 Fund Balance Appropriated	0.00	0.00	0.00	0.00	100.00 %
<b>Total FUND BALANCE APPROPRIATED</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>Total Receipts</b>	<b>183,460.00</b>	<b>3,287.63</b>	<b>176,312.81</b>	<b>7,147.19</b>	<b>96.10 %</b>
<b>Operating Expenses</b>					
<b>TAX COLLECTION</b>					
03-403-114 Real Estate Taxes	2,900.00	0.00	2,878.99	21.01	99.28 %
<b>Total TAX COLLECTION</b>	<b>2,900.00</b>	<b>0.00</b>	<b>2,878.99</b>	<b>21.01</b>	<b>99.28 %</b>
<b>FIRE PROTECTION</b>					
03-411-100 Fire Company Contributions	139,960.00	0.00	44,647.90	95,312.10	31.90 %
03-411-200 Insurance	37,000.00	0.00	48,201.00	-11,201.00	130.27 %
03-411-301 Fire Hydrant Rental	4,000.00	0.00	0.00	4,000.00	0.00 %
<b>Total FIRE PROTECTION</b>	<b>180,960.00</b>	<b>0.00</b>	<b>92,848.90</b>	<b>88,111.10</b>	<b>51.31 %</b>
<b>Total Operating Expenses</b>	<b>183,860.00</b>	<b>0.00</b>	<b>95,727.89</b>	<b>88,132.11</b>	<b>52.07 %</b>
<b>* Net Surplus &lt;Deficit&gt; *</b>		<b>3,287.63</b>	<b>272,040.70</b>	<b>95,279.30</b>	<b>74.06 %</b>

## PARK & RECREATION FUND Budgeted Revenue and Expense Statement

Aug 24 Actual vs Budget ID [BUD2024] (Year2024)

		<u>Annual Budget</u>	<u>Period-to-Date Actual</u>	<u>Year-to-Date Actual</u>	<u>Remaining</u>	<u>%</u>
<b>Receipts</b>						
<b>REAL PROPERTY TAXES</b>						
05-301-100	Real Estate Taxes - Current Year	48,096.00	793.52	46,396.80	1,699.20	96.47 %
05-301-200	Real Estate Taxes - Prior Year	1,000.00	18.80	193.89	806.11	19.39 %
<b>Total REAL PROPERTY TAXES</b>		<b>49,096.00</b>	<b>812.32</b>	<b>46,590.69</b>	<b>2,505.31</b>	<b>94.90 %</b>
<b>INTEREST AND RENTS</b>						
05-341-010	Interest on Investments	2,000.00	401.04	4,066.12	-2,066.12	203.31 %
05-341-100	PLGIT Dividend	0.00	872.52	3,282.37	-3,282.37	100.00 %
<b>Total INTEREST AND RENTS</b>		<b>2,000.00</b>	<b>1,273.56</b>	<b>7,348.49</b>	<b>-5,348.49</b>	<b>367.42 %</b>
<b>FEES AND CHARGES</b>						
05-367-300	Facility Use Fees	5,000.00	-325.00	2,075.00	2,925.00	41.50 %
05-367-400	Program Fees	0.00	0.00	0.00	0.00	100.00 %
05-367-500	Auditorium Fees	0.00	0.00	0.00	0.00	100.00 %
05-367-600	Ticket Sales	0.00	0.00	0.00	0.00	100.00 %
05-367-800	Baseball Advertising Fees	2,200.00	0.00	1,520.00	680.00	69.09 %
<b>Total FEES AND CHARGES</b>		<b>7,200.00</b>	<b>-325.00</b>	<b>3,595.00</b>	<b>3,605.00</b>	<b>49.93 %</b>
<b>CONTRIBUTION &amp; DONATIONS</b>						
05-387-100	PARDonations from Private Sources	0.00	0.00	0.00	0.00	100.00 %
<b>Total CONTRIBUTION &amp; DONATIONS</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>FUND BALANCE APPROPRIATED</b>						
05-399-000	Fund Balance Appropriated	0.00	0.00	0.00	0.00	100.00 %
<b>Total FUND BALANCE APPROPRIATED</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>Total Receipts</b>		<b>58,296.00</b>	<b>1,760.88</b>	<b>57,534.18</b>	<b>761.82</b>	<b>98.69 %</b>
<b>Operating Expenses</b>						
<b>TAX COLLECTION</b>						
05-403-114	Real Estate Taxes	770.00	0.00	767.73	2.27	99.71 %
<b>Total TAX COLLECTION</b>		<b>770.00</b>	<b>0.00</b>	<b>767.73</b>	<b>2.27</b>	<b>99.71 %</b>
<b>PARTICIPANT RECREATION</b>						
05-452-220	Program Supplies	0.00	0.00	0.00	0.00	100.00 %
05-452-458	Penridge Senior Center	1,500.00	0.00	0.00	1,500.00	0.00 %
<b>Total PARTICIPANT RECREATION</b>		<b>1,500.00</b>	<b>0.00</b>	<b>0.00</b>	<b>1,500.00</b>	<b>0.00 %</b>
<b>PARKS MAINTENANCE</b>						
05-454-220	Operating Supplies	35,000.00	429.43	22,431.82	12,568.18	64.09 %
05-454-230	Heating Oil	0.00	0.00	0.00	0.00	100.00 %
05-454-321	Communications	2,300.00	198.00	1,334.52	965.48	58.02 %
05-454-361	Utilities	500.00	0.00	801.04	-301.04	160.21 %
05-454-372	Equipment Supplies	10,000.00	80.64	9,568.76	431.24	95.69 %
05-454-374	Equipment Repairs	2,500.00	0.00	0.00	2,500.00	0.00 %
05-454-451	Contracted Services	20,000.00	0.00	3,460.00	16,540.00	17.30 %
05-454-700	Capital Outlay	0.00	0.00	0.00	0.00	100.00 %
<b>Total PARKS MAINTENANCE</b>		<b>70,300.00</b>	<b>708.07</b>	<b>37,596.14</b>	<b>32,703.86</b>	<b>53.48 %</b>
<b>INSURANCE</b>						
05-486-100	Property & Liability Insurance	0.00	0.00	0.00	0.00	100.00 %

**PARK & RECREATION FUND**  
**Budgeted Revenue and Expense Statement**

**Aug 24 Actual vs Budget ID [BUD2024] (Year2024)**

	<u>Annual Budget</u>	<u>Period-to-Date Actual</u>	<u>Year-to-Date Actual</u>	<u>Remaining</u>	<u>%</u>
Total INSURANCE	0.00	0.00	0.00	0.00	100.00 %
INTERFUND TRANSFERS					
05-492-000      Transfer to General Fund	0.00	0.00	0.00	0.00	100.00 %
Total INTERFUND TRANSFERS	0.00	0.00	0.00	0.00	100.00 %
MISCELLANEOUS EXPENSES					
05-480-010      Miscellaneous Expenses	0.00	0.00	0.00	0.00	100.00 %
Total MISCELLANEOUS EXPENSES	0.00	0.00	0.00	0.00	100.00 %
<b>Total Operating Expenses</b>	<b>72,570.00</b>	<b>708.07</b>	<b>38,363.87</b>	<b>34,206.13</b>	<b>52.86 %</b>
<b>* Net Surplus &lt;Deficit&gt; *</b>		<b>2,468.95</b>	<b>95,898.05</b>	<b>34,967.95</b>	<b>73.28 %</b>

**STREET LIGHT FUND**  
**Budgeted Revenue and Expense Statement**

**Aug 24 Actual vs Budget ID [BUD2024] (Year2024)**

	<u>Annual Budget</u>	<u>Period-to-Date Actual</u>	<u>Year-to-Date Actual</u>	<u>Remaining</u>	<u>%</u>
<b>Receipts</b>					
STREET LIGHTING REVENUES					
13-301-100 STREET LIGHTING TAX	0.00	0.00	0.00	0.00	100.00 %
Total STREET LIGHTING REVENUES	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	100.00 %
SPECIAL ASSESSMENTS					
13-383-110 Street Lighting	57,000.00	771.52	57,790.12	-790.12	101.39 %
Total SPECIAL ASSESSMENTS	<b>57,000.00</b>	<b>771.52</b>	<b>57,790.12</b>	<b>-790.12</b>	101.39 %
INTEREST EARNINGS					
13-341-030 Interest on Investments	0.00	0.00	0.00	0.00	100.00 %
Total INTEREST EARNINGS	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	100.00 %
INTERFUND TRANSFERS					
13-392-010 From General Fund	0.00	0.00	0.00	0.00	100.00 %
Total INTERFUND TRANSFERS	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	100.00 %
FUND BALANCE APPROPRIATED					
13-399-000 Fund Balance Appropriated	0.00	0.00	0.00	0.00	100.00 %
Total FUND BALANCE APPROPRIATED	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	100.00 %
<b>Total Receipts</b>	<b>57,000.00</b>	<b>771.52</b>	<b>57,790.12</b>	<b>-790.12</b>	101.39 %
<b>Operating Expenses</b>					
STREET LIGHTING EXPENDITURES					
13-403-114 SALARY - TAX COLLECTOR	0.00	0.00	0.00	0.00	100.00 %
Total STREET LIGHTING EXPENDITURES	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	100.00 %
HIGHWAY MAINT.-STREET LIGHTING					
13-434-361 OPERATING EXPENSE	0.00	0.00	0.00	0.00	100.00 %
Total HIGHWAY MAINT.-STREET LIGHTING	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	100.00 %
INTERFUND TRANSFERS					
13-492-120 TRANSFER TO GENERAL FUND	0.00	0.00	0.00	0.00	100.00 %
Total INTERFUND TRANSFERS	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	100.00 %
ENGINEERING					
13-434-310 Professional Services	100.00	0.00	0.00	100.00	0.00 %
Total ENGINEERING	<b>100.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00</b>	0.00 %
STREET LIGHTING					
13-434-360 Utilities	40,000.00	3,814.31	26,510.98	13,489.02	66.28 %
Total STREET LIGHTING	<b>40,000.00</b>	<b>3,814.31</b>	<b>26,510.98</b>	<b>13,489.02</b>	66.28 %
<b>Total Operating Expenses</b>	<b>40,100.00</b>	<b>3,814.31</b>	<b>26,510.98</b>	<b>13,589.02</b>	66.11 %
<b>* Net Surplus &lt;Deficit&gt; *</b>		<b>4,585.83</b>	<b>84,301.10</b>	<b>12,798.90</b>	86.82 %



**CAPITAL PROJECTS FUND**  
**Budgeted Revenue and Expense Statement**

**Aug 24 Actual vs Budget ID [BUD2024] (Year2024)**

	<u>Annual Budget</u>	<u>Period-to-Date Actual</u>	<u>Year-to-Date Actual</u>	<u>Remaining</u>	<u>%</u>
<b>Receipts</b>					
<b>INTEREST EARNINGS</b>					
30-341-000 Interest on Investments	8,000.00	733.35	8,042.36	-42.36	100.53 %
30-341-100 PLGIT Dividend	0.00	1,745.05	6,564.75	-6,564.75	100.00 %
<b>Total INTEREST EARNINGS</b>	<b>8,000.00</b>	<b>2,478.40</b>	<b>14,607.11</b>	<b>-6,607.11</b>	<b>182.59 %</b>
<b>STATE OPERATING &amp; CAPITAL GRANTS</b>					
30-354-091 Mill Road Bridge Project	0.00	0.00	0.00	0.00	100.00 %
30-354-100 State Capital Grants	0.00	0.00	0.00	0.00	100.00 %
<b>Total STATE OPERATING &amp; CAPITAL GRANTS</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>FEES IN LIEU-OF-IMPROVEMENTS</b>					
30-387-100 Contributions	0.00	0.00	0.00	0.00	100.00 %
30-387-200 Traffic System	0.00	0.00	0.00	0.00	100.00 %
30-387-300 Sidewalks	0.00	0.00	0.00	0.00	100.00 %
30-387-400 Streets and Highways	0.00	0.00	10,090.83	-10,090.83	100.00 %
30-387-500 Storm Sewers and Drains	0.00	0.00	0.00	0.00	100.00 %
30-387-600 Landscaping	0.00	0.00	32,500.00	-32,500.00	100.00 %
<b>Total FEES IN LIEU-OF-IMPROVEMENTS</b>	<b>0.00</b>	<b>0.00</b>	<b>42,590.83</b>	<b>-42,590.83</b>	<b>100.00 %</b>
<b>INTERFUND TRANSFERS</b>					
30-392-100 From General Fund	0.00	0.00	0.00	0.00	100.00 %
30-392-101 From Stormwater Reserve Fund	0.00	0.00	0.00	0.00	100.00 %
30-392-102 Transfer from General Reserve	0.00	0.00	0.00	0.00	100.00 %
<b>Total INTERFUND TRANSFERS</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>FUND BALANCE APPROPRIATED</b>					
30-399-000 Fund Balance Appropriated	0.00	0.00	0.00	0.00	100.00 %
<b>Total FUND BALANCE APPROPRIATED</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>Total Receipts</b>	<b>8,000.00</b>	<b>2,478.40</b>	<b>57,197.94</b>	<b>-49,197.94</b>	<b>714.97 %</b>
<b>Operating Expenses</b>					
<b>PROFESSIONAL SERVICES</b>					
30-408-301 Engineering Services	0.00	0.00	0.00	0.00	100.00 %
30-408-302 Architectural Services	0.00	0.00	0.00	0.00	100.00 %
<b>Total PROFESSIONAL SERVICES</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>BUILDINGS AND GROUNDS</b>					
30-409-700 Township Building	0.00	0.00	0.00	0.00	100.00 %
30-409-701 Public Works Building	0.00	0.00	0.00	0.00	100.00 %
30-409-702 Other Township Properties	20,000.00	0.00	16,839.31	3,160.69	84.20 %
30-409-703 Pave Parking Lot - Township Bldg.	0.00	0.00	0.00	0.00	100.00 %
30-409-704 Repair & Replace Roof - Twp. Bldg.	0.00	0.00	0.00	0.00	100.00 %
<b>Total BUILDINGS AND GROUNDS</b>	<b>20,000.00</b>	<b>0.00</b>	<b>16,839.31</b>	<b>3,160.69</b>	<b>84.20 %</b>
<b>INFORMATION TECHNOLOGY</b>					
30-407-600 Capital Equipment	10,000.00	0.00	0.00	10,000.00	0.00 %
<b>Total INFORMATION TECHNOLOGY</b>	<b>10,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>10,000.00</b>	<b>0.00 %</b>
<b>PUBLIC WORKS DEPARTMENT</b>					
30-430-700 Capital Equipment	3,000.00	0.00	4,615.00	-1,615.00	153.83 %

**CAPITAL PROJECTS FUND**  
**Budgeted Revenue and Expense Statement**

**Aug 24 Actual vs Budget ID [BUD2024] (Year2024)**

	<u>Annual Budget</u>	<u>Period-to-Date Actual</u>	<u>Year-to-Date Actual</u>	<u>Remaining</u>	<u>%</u>
Total PUBLIC WORKS DEPARTMENT	<b>3,000.00</b>	<b>0.00</b>	<b>4,615.00</b>	<b>-1,615.00</b>	153.83 %
<b>POLICE SERVICES</b>					
30-410-740      Capital Equipment	187,000.00	14,763.22	113,700.92	73,299.08	60.80 %
Total POLICE SERVICES	<b>187,000.00</b>	<b>14,763.22</b>	<b>113,700.92</b>	<b>73,299.08</b>	60.80 %
<b>PLANNING AND ZONING</b>					
30-414-740      Capital Equipment	1,500.00	0.00	1,050.00	450.00	70.00 %
Total PLANNING AND ZONING	<b>1,500.00</b>	<b>0.00</b>	<b>1,050.00</b>	<b>450.00</b>	70.00 %
<b>TRAFFIC CONTROL DEVICES</b>					
30-433-600      Capital Construction	0.00	0.00	0.00	0.00	100.00 %
Total TRAFFIC CONTROL DEVICES	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	100.00 %
<b>STREET LIGHTING</b>					
30-434-600      Capital Construction	0.00	0.00	0.00	0.00	100.00 %
Total STREET LIGHTING	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	100.00 %
<b>STORM SEWERS AND DRAINS</b>					
30-436-600      Capital Construction	0.00	0.00	0.00	0.00	100.00 %
Total STORM SEWERS AND DRAINS	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	100.00 %
<b>HIGHWAY CONSTRUCTION</b>					
30-439-600      Capital Construction	0.00	0.00	0.00	0.00	100.00 %
Total HIGHWAY CONSTRUCTION	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	100.00 %
<b>INTERFUND TRANSFERS</b>					
30-492-010      To General Fund	0.00	0.00	0.00	0.00	100.00 %
Total INTERFUND TRANSFERS	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	100.00 %
<b>MISCELLANEOUS EXPENSES</b>					
30-480-010      Miscellaneous Expenses	0.00	0.00	0.00	0.00	100.00 %
Total MISCELLANEOUS EXPENSES	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	100.00 %
<b>Total Operating Expenses</b>	<b>221,500.00</b>	<b>14,763.22</b>	<b>136,205.23</b>	<b>85,294.77</b>	61.49 %
<b>* Net Surplus &lt;Deficit&gt; *</b>		<b>17,241.62</b>	<b>193,403.17</b>	<b>36,096.83</b>	84.27 %

**RECREATION CAPITAL RESERVE FUND**  
**Budgeted Revenue and Expense Statement**

**Aug 24 Actual vs Budget ID [BUD2024] (Year2024)**

	<u>Annual Budget</u>	<u>Period-to-Date Actual</u>	<u>Year-to-Date Actual</u>	<u>Remaining</u>	<u>%</u>
<b>Receipts</b>					
<b>INTEREST EARNINGS</b>					
31-341-010 Interest on Investments	8,000.00	125.17	6,338.91	1,661.09	79.24 %
31-341-100 PLGIT Dividend	0.00	3,162.90	11,898.60	-11,898.60	100.00 %
<b>Total INTEREST EARNINGS</b>	<b>8,000.00</b>	<b>3,288.07</b>	<b>18,237.51</b>	<b>-10,237.51</b>	<b>227.97 %</b>
<b>STATE OPERATING &amp; CAPITAL GRANTS</b>					
31-354-070 State Capital Grants	0.00	0.00	0.00	0.00	100.00 %
<b>Total STATE OPERATING &amp; CAPITAL GRANTS</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>FEES IN LIEU-OF-IMPROVEMENTS</b>					
31-387-100 Park System Improvements	0.00	0.00	0.00	0.00	100.00 %
31-387-400 Fees in Lieu of Open Space	2,685.00	0.00	0.00	2,685.00	0.00 %
<b>Total FEES IN LIEU-OF-IMPROVEMENTS</b>	<b>2,685.00</b>	<b>0.00</b>	<b>0.00</b>	<b>2,685.00</b>	<b>0.00 %</b>
<b>INTERFUND TRANSFERS</b>					
31-392-010 Transfer from General Fund	0.00	0.00	0.00	0.00	100.00 %
31-392-092 From Escrow Fund	0.00	0.00	0.00	0.00	100.00 %
31-392-093 From General Fund	0.00	0.00	0.00	0.00	100.00 %
31-392-094 From General Reserve	0.00	0.00	0.00	0.00	100.00 %
<b>Total INTERFUND TRANSFERS</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>FUND BALANCE APPROPRIATED</b>					
31-399-000 Fund Balance Appropriated	0.00	0.00	0.00	0.00	100.00 %
<b>Total FUND BALANCE APPROPRIATED</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>Total Receipts</b>	<b>10,685.00</b>	<b>3,288.07</b>	<b>18,237.51</b>	<b>-7,552.51</b>	<b>170.68 %</b>
<b>Operating Expenses</b>					
<b>PROFESSIONAL SERVICES</b>					
31-408-301 Engineering Services	2,500.00	0.00	0.00	2,500.00	0.00 %
31-408-302 Architectural Services	0.00	0.00	0.00	0.00	100.00 %
<b>Total PROFESSIONAL SERVICES</b>	<b>2,500.00</b>	<b>0.00</b>	<b>0.00</b>	<b>2,500.00</b>	<b>0.00 %</b>
<b>PLANNING</b>					
31-414-301 Professional Services	0.00	0.00	0.00	0.00	100.00 %
<b>Total PLANNING</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>PUBLIC WORKS</b>					
31-430-600 Capital Purchases	20,000.00	0.00	0.00	20,000.00	0.00 %
<b>Total PUBLIC WORKS</b>	<b>20,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>20,000.00</b>	<b>0.00 %</b>
<b>PARK IMPROVEMENTS</b>					
31-454-700 Civic Park	0.00	0.00	0.00	0.00	100.00 %
31-454-701 Blooming Glen Village Park	0.00	0.00	0.00	0.00	100.00 %
31-454-702 Forest Road Park	0.00	0.00	0.00	0.00	100.00 %
31-454-703 Beyer Farmstead	0.00	0.00	0.00	0.00	100.00 %
31-454-704 Blooming Glen School House	0.00	0.00	0.00	0.00	100.00 %
31-454-705 Fairhill Property	0.00	0.00	0.00	0.00	100.00 %
31-454-706 Frontier Road Property	0.00	0.00	0.00	0.00	100.00 %
31-454-707 Scout Cabin	0.00	0.00	0.00	0.00	100.00 %
31-454-708 Longleaf Playground	0.00	0.00	0.00	0.00	100.00 %
31-454-709 Hilltown Trail System	300,000.00	0.00	1,070.80	298,929.20	0.36 %

**RECREATION CAPITAL RESERVE FUND  
Budgeted Revenue and Expense Statement**

**Aug 24 Actual vs Budget ID [BUD2024] (Year2024)**

	<u>Annual Budget</u>	<u>Period-to-Date Actual</u>	<u>Year-to-Date Actual</u>	<u>Remaining</u>	<u>%</u>
31-454-710 Open Space Preservation Signage	0.00	0.00	0.00	0.00	100.00 %
Total PARK IMPROVEMENTS	<b>300,000.00</b>	<b>0.00</b>	<b>1,070.80</b>	<b>298,929.20</b>	0.36 %
<b>MISCELLANEOUS EXPENSES</b>					
31-480-010 Miscellaneous Expenses	0.00	0.00	0.00	0.00	100.00 %
Total MISCELLANEOUS EXPENSES	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	100.00 %
<b>Total Operating Expenses</b>	<b>322,500.00</b>	<b>0.00</b>	<b>1,070.80</b>	<b>321,429.20</b>	0.33 %
<b>* Net Surplus &lt;Deficit&gt; *</b>		<b>3,288.07</b>	<b>19,308.31</b>	<b>313,876.69</b>	5.80 %

**OPEN SPACE FUND**  
**Budgeted Revenue and Expense Statement**

**Aug 24 Actual vs Budget ID [BUD2024] (Year2024)**

	<u>Annual Budget</u>	<u>Period-to-Date Actual</u>	<u>Year-to-Date Actual</u>	<u>Remaining</u>	<u>%</u>
<b>Receipts</b>					
<b>ACT 511 TAXES</b>					
32-310-210 Earned Income Taxes	500.00	45.62	428.33	71.67	85.67 %
<b>Total ACT 511 TAXES</b>	<b>500.00</b>	<b>45.62</b>	<b>428.33</b>	<b>71.67</b>	<b>85.67 %</b>
<b>INTEREST AND RENTS</b>					
32-341-010 Interest on Investments	20,000.00	52.10	14,843.37	5,156.63	74.22 %
32-341-100 PLGIT Dividend	0.00	8,288.98	31,182.56	-31,182.56	100.00 %
<b>Total INTEREST AND RENTS</b>	<b>20,000.00</b>	<b>8,341.08</b>	<b>46,025.93</b>	<b>-26,025.93</b>	<b>230.13 %</b>
<b>FUND BALANCE APPROPRIATED</b>					
32-399-000 Fund Balance Appropriated	0.00	0.00	0.00	0.00	100.00 %
<b>Total FUND BALANCE APPROPRIATED</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>Total Receipts</b>	<b>20,500.00</b>	<b>8,386.70</b>	<b>46,454.26</b>	<b>-25,954.26</b>	<b>226.61 %</b>
<b>Operating Expenses</b>					
<b>TAX COLLECTION</b>					
32-403-116 Earned Income Taxes	0.00	0.00	0.00	0.00	100.00 %
<b>Total TAX COLLECTION</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>LEGAL SERVICES</b>					
32-404-314 Township Solicitor	0.00	0.00	0.00	0.00	100.00 %
<b>Total LEGAL SERVICES</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>ENGINEERING SERVICES</b>					
32-408-313 Township Engineer	0.00	0.00	0.00	0.00	100.00 %
<b>Total ENGINEERING SERVICES</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>BUILDINGS AND GROUNDS</b>					
32-409-700 Open Space Acquisitions	0.00	0.00	0.00	0.00	100.00 %
<b>Total BUILDINGS AND GROUNDS</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>MISCELLANEOUS EXPENSES</b>					
32-480-010 Miscellaneous Expenses	0.00	0.00	0.00	0.00	100.00 %
<b>Total MISCELLANEOUS EXPENSES</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>Total Operating Expenses</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>* Net Surplus &lt;Deficit&gt; *</b>		<b>8,386.70</b>	<b>46,454.26</b>	<b>-25,954.26</b>	<b>226.61 %</b>

**STORMWATER SYSTEM RESERVE FUND  
Budgeted Revenue and Expense Statement**

**Aug 24 Actual vs Budget ID [BUD2024] (Year2024)**

	<u>Annual Budget</u>	<u>Period-to-Date Actual</u>	<u>Year-to-Date Actual</u>	<u>Remaining</u>	<u>%</u>
<b>Receipts</b>					
<b>INTEREST EARNINGS</b>					
33-341-000 Interest on Investments	28,000.00	139.92	22,488.79	5,511.21	80.32 %
33-341-100 PLGIT Dividend	0.00	12,215.34	45,953.24	-45,953.24	100.00 %
<b>Total INTEREST EARNINGS</b>	<b>28,000.00</b>	<b>12,355.26</b>	<b>68,442.03</b>	<b>-40,442.03</b>	<b>244.44 %</b>
<b>FEES IN LIEU-OF-IMPROVEMENTS</b>					
33-387-100 Stormwater System Improvements	10,000.00	1,500.00	12,699.50	-2,699.50	127.00 %
<b>Total FEES IN LIEU-OF-IMPROVEMENTS</b>	<b>10,000.00</b>	<b>1,500.00</b>	<b>12,699.50</b>	<b>-2,699.50</b>	<b>127.00 %</b>
<b>INTERFUND TRANSFERS</b>					
33-392-100 From Escrow Fund	0.00	0.00	0.00	0.00	100.00 %
33-392-200 Transfer from General Reserve	0.00	0.00	0.00	0.00	100.00 %
<b>Total INTERFUND TRANSFERS</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>FUND BALANCE APPROPRIATED</b>					
33-399-000 Fund Balance Appropriated	0.00	0.00	0.00	0.00	100.00 %
<b>Total FUND BALANCE APPROPRIATED</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>Total Receipts</b>	<b>38,000.00</b>	<b>13,855.26</b>	<b>81,141.53</b>	<b>-43,141.53</b>	<b>213.53 %</b>
<b>Operating Expenses</b>					
<b>INTERFUND TRANSFERS</b>					
33-392-101 From General Fund	0.00	0.00	0.00	0.00	100.00 %
33-430-600 To Capital Projects Fund	0.00	0.00	0.00	0.00	100.00 %
33-492-600 To General Fund	0.00	0.00	433.99	-433.99	100.00 %
<b>Total INTERFUND TRANSFERS</b>	<b>0.00</b>	<b>0.00</b>	<b>433.99</b>	<b>-433.99</b>	<b>100.00 %</b>
<b>MISCELLANEOUS EXPENSE</b>					
33-480-010 Stormwater Improvements	50,000.00	1,456.50	43,406.29	6,593.71	86.81 %
<b>Total MISCELLANEOUS EXPENSE</b>	<b>50,000.00</b>	<b>1,456.50</b>	<b>43,406.29</b>	<b>6,593.71</b>	<b>86.81 %</b>
<b>Total Operating Expenses</b>	<b>50,000.00</b>	<b>1,456.50</b>	<b>43,840.28</b>	<b>6,159.72</b>	<b>87.68 %</b>
<b>* Net Surplus &lt;Deficit&gt; *</b>		<b>15,311.76</b>	<b>124,981.81</b>	<b>-36,981.81</b>	<b>142.02 %</b>

## ROAD EQUIPMENT FUND Budgeted Revenue and Expense Statement

Aug 24 Actual vs Budget ID [BUD2024] (Year2024)

	Annual <u>Budget</u>	Period-to-Date <u>Actual</u>	Year-to-Date <u>Actual</u>	<u>Remaining</u>	<u>%</u>
<b>Receipts</b>					
<b>REAL PROPERTY TAXES</b>					
34-301-100 Real Estate Taxes - Current Year	120,340.00	1,983.89	115,998.76	4,341.24	96.39 %
34-301-200 Real Estate Taxes - Prior Year	1,500.00	47.01	484.65	1,015.35	32.31 %
<b>Total REAL PROPERTY TAXES</b>	<b>121,840.00</b>	<b>2,030.90</b>	<b>116,483.41</b>	<b>5,356.59</b>	<b>95.60 %</b>
<b>INTEREST EARNINGS</b>					
34-341-010 Interest on Investments	17,500.00	711.35	19,545.59	-2,045.59	111.69 %
34-341-100 PLGIT Dividend	0.00	8,288.98	31,182.56	-31,182.56	100.00 %
<b>Total INTEREST EARNINGS</b>	<b>17,500.00</b>	<b>9,000.33</b>	<b>50,728.15</b>	<b>-33,228.15</b>	<b>289.88 %</b>
<b>INTERFUND TRANSFERS</b>					
34-396-600 Transfer from General Fund	0.00	0.00	0.00	0.00	100.00 %
34-396-700 Transfer from General Reserve	0.00	0.00	0.00	0.00	100.00 %
<b>Total INTERFUND TRANSFERS</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>FUND BALANCE APPROPRIATED</b>					
34-399-000 Fund Balance Appropriated	0.00	0.00	0.00	0.00	100.00 %
<b>Total FUND BALANCE APPROPRIATED</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>Total Receipts</b>	<b>139,340.00</b>	<b>11,031.23</b>	<b>167,211.56</b>	<b>-27,871.56</b>	<b>120.00 %</b>
<b>Operating Expenses</b>					
<b>TAX COLLECTION</b>					
34-403-114 Real Estate Taxes	1,919.00	0.00	1,919.32	-0.32	100.02 %
<b>Total TAX COLLECTION</b>	<b>1,919.00</b>	<b>0.00</b>	<b>1,919.32</b>	<b>-0.32</b>	<b>100.02 %</b>
<b>PUBLIC WORKS</b>					
34-430-740 Capital Purchases	320,000.00	65,312.50	267,298.36	52,701.64	83.53 %
<b>Total PUBLIC WORKS</b>	<b>320,000.00</b>	<b>65,312.50</b>	<b>267,298.36</b>	<b>52,701.64</b>	<b>83.53 %</b>
<b>MISCELLANEOUS EXPENSES</b>					
34-480-010 Miscellaneous Expenses	0.00	0.00	0.00	0.00	100.00 %
<b>Total MISCELLANEOUS EXPENSES</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>Total Operating Expenses</b>	<b>321,919.00</b>	<b>65,312.50</b>	<b>269,217.68</b>	<b>52,701.32</b>	<b>83.63 %</b>
<b>* Net Surplus &lt;Deficit&gt; *</b>		<b>76,343.73</b>	<b>436,429.24</b>	<b>24,829.76</b>	<b>94.62 %</b>

**STATE HIGHWAY AID FUND  
Budgeted Revenue and Expense Statement**

**Aug 24 Actual vs Budget ID [BUD2024] (Year2024)**

	<u>Annual Budget</u>	<u>Period-to-Date Actual</u>	<u>Year-to-Date Actual</u>	<u>Remaining</u>	<u>%</u>
<b>Receipts</b>					
<b>INTEREST EARNINGS</b>					
35-341-050 Interest on Investments	12,000.00	1,688.08	15,392.25	-3,392.25	128.27 %
35-341-070 PLGIT Dividend	0.00	2,617.57	9,847.12	-9,847.12	100.00 %
<b>Total INTEREST EARNINGS</b>	<b>12,000.00</b>	<b>4,305.65</b>	<b>25,239.37</b>	<b>-13,239.37</b>	<b>210.33 %</b>
<b>STATE SHARED REVENUE &amp; ENTITLEMENTS</b>					
35-355-020 State Liquid Fuels Funds	556,471.00	0.00	560,554.94	-4,083.94	100.73 %
35-355-030 PennDOT Turnback Funds	24,080.00	0.00	24,080.00	0.00	100.00 %
<b>Total STATE SHARED REVENUE &amp; ENTITLEMENTS</b>	<b>580,551.00</b>	<b>0.00</b>	<b>584,634.94</b>	<b>-4,083.94</b>	<b>100.70 %</b>
<b>FUND BALANCE APPROPRIATED</b>					
35-399-000 Fund Balance Appropriated	0.00	0.00	0.00	0.00	100.00 %
<b>Total FUND BALANCE APPROPRIATED</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>Total Receipts</b>	<b>592,551.00</b>	<b>4,305.65</b>	<b>609,874.31</b>	<b>-17,323.31</b>	<b>102.92 %</b>
<b>Operating Expenses</b>					
<b>HIGHWAY-MAINTENANCE &amp; REPAIR</b>					
35-438-316 CONTRACTED SERVICES - ROADS	0.00	0.00	0.00	0.00	100.00 %
<b>Total HIGHWAY-MAINTENANCE &amp; REPAIR</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>HIGHWAY-CONSTRUCTION &amp; REBUILDING</b>					
35-439-245 ROAD MATERIALS	0.00	0.00	0.00	0.00	100.00 %
35-439-316 CONTRACTED SERVICES - ROADS	0.00	0.00	0.00	0.00	100.00 %
<b>Total HIGHWAY-CONSTRUCTION &amp; REBUILDING</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>MISCELLANEOUS</b>					
35-480-010 MISCELLANEOUS	0.00	0.00	0.00	0.00	100.00 %
<b>Total MISCELLANEOUS</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>HIGHWAY-GENERAL SERVICES</b>					
35-430-260 Minor Equipment	0.00	0.00	0.00	0.00	100.00 %
35-430-740 Equipment Purchases	0.00	0.00	0.00	0.00	100.00 %
<b>Total HIGHWAY-GENERAL SERVICES</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>HIGHWAY-SNOW &amp; ICE REMOVAL</b>					
35-432-245 De-Icing Materials	150,000.00	0.00	84,820.57	65,179.43	56.55 %
35-432-450 Contracted Services	15,000.00	0.00	5,442.50	9,557.50	36.28 %
<b>Total HIGHWAY-SNOW &amp; ICE REMOVAL</b>	<b>165,000.00</b>	<b>0.00</b>	<b>90,263.07</b>	<b>74,736.93</b>	<b>54.70 %</b>
<b>HIGHWAY-SIGNAL/SIGNS</b>					
35-433-245 Traffic Sign Supplies	10,000.00	0.00	2,133.56	7,866.44	21.34 %
35-433-246 Signs	10,000.00	0.00	1,627.06	8,372.94	16.27 %
35-433-250 Roadway Striping	25,000.00	0.00	24,444.00	556.00	97.78 %
<b>Total HIGHWAY-SIGNAL/SIGNS</b>	<b>45,000.00</b>	<b>0.00</b>	<b>28,204.62</b>	<b>16,795.38</b>	<b>62.68 %</b>
<b>HIGHWAY MAINTENANCE/REPAIR</b>					
35-438-245 Road Materials	782,551.00	16,960.49	81,319.14	701,231.86	10.39 %
35-438-450 Contracted Services	0.00	0.00	0.00	0.00	100.00 %
<b>Total HIGHWAY MAINTENANCE/REPAIR</b>	<b>782,551.00</b>	<b>16,960.49</b>	<b>81,319.14</b>	<b>701,231.86</b>	<b>10.39 %</b>



**STATE HIGHWAY AID FUND**  
**Budgeted Revenue and Expense Statement**

**Aug 24 Actual vs Budget ID [BUD2024] (Year2024)**

	<u>Annual Budget</u>	<u>Period-to-Date Actual</u>	<u>Year-to-Date Actual</u>	<u>Remaining</u>	<u>%</u>
HIGHWAY CONSTRUCTION/REBUILDING					
35-439-700      Capital Construction	0.00	0.00	0.00	0.00	100.00 %
Total HIGHWAY CONSTRUCTION/REBUILDING	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	100.00 %
<b>Total Operating Expenses</b>	<b>992,551.00</b>	<b>16,960.49</b>	<b>199,786.83</b>	<b>792,764.17</b>	20.13 %
<b>* Net Surplus &lt;Deficit&gt; *</b>		<b>21,266.14</b>	<b>809,661.14</b>	<b>775,440.86</b>	51.08 %

**OPERATING RESERVE FUND**  
**Budgeted Revenue and Expense Statement**

Aug 24 Actual vs Budget ID [BUD2024] (Year2024)

	<u>Annual Budget</u>	<u>Period-to-Date Actual</u>	<u>Year-to-Date Actual</u>	<u>Remaining</u>	<u>%</u>
<b>Receipts</b>					
<b>REAL PROPERTY TAXES</b>					
95-301-100 Real Estate Taxes - Current Year	0.00	0.00	0.00	0.00	100.00 %
95-301-200 Real Estate Taxes - Prior Year	0.00	0.00	0.00	0.00	100.00 %
<b>Total REAL PROPERTY TAXES</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>INTEREST EARNINGS</b>					
95-341-000 PLGIT Dividend	0.00	8,288.98	31,182.56	-31,182.56	100.00 %
95-341-030 Interest on Investments	18,000.00	170.19	15,598.36	2,401.64	86.66 %
<b>Total INTEREST EARNINGS</b>	<b>18,000.00</b>	<b>8,459.17</b>	<b>46,780.92</b>	<b>-28,780.92</b>	<b>259.89 %</b>
<b>INTERFUND TRANSFERS</b>					
95-392-010 From General Fund	0.00	0.00	0.00	0.00	100.00 %
<b>Total INTERFUND TRANSFERS</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>FUND BALANCE APPROPRIATED</b>					
95-399-000 Fund Balance Appropriated	0.00	0.00	0.00	0.00	100.00 %
<b>Total FUND BALANCE APPROPRIATED</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>Total Receipts</b>	<b>18,000.00</b>	<b>8,459.17</b>	<b>46,780.92</b>	<b>-28,780.92</b>	<b>259.89 %</b>
<b>Operating Expenses</b>					
<b>INTERFUND TRANSFERS</b>					
95-499-100 To General Fund	0.00	0.00	0.00	0.00	100.00 %
<b>Total INTERFUND TRANSFERS</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>MISCELLANEOUS EXPENSES</b>					
95-480-010 Miscellaneous Expenses	0.00	0.00	0.00	0.00	100.00 %
<b>Total MISCELLANEOUS EXPENSES</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>Total Operating Expenses</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00 %</b>
<b>* Net Surplus &lt;Deficit&gt; *</b>		<b>8,459.17</b>	<b>46,780.92</b>	<b>-28,780.92</b>	<b>259.89 %</b>

**SOLICITOR'S  
REPORT**



**HILLTOWN TOWNSHIP**  
13 West Creamery Road  
P.O. Box 260  
Hilltown, PA 18927  
(215) 453-6000 Fax: (215) 453-1024  
www.hilltown.org

**MEMORANDUM**

**August 27, 2024**

---

**To:** Board of Supervisors  
**From:** Caitlin M. Mest, EIT, BCO, CFM, CZO  
**RE:** 4622 Bethlehem Pk – Special Exception

---

**Applicant:** Waste Management of Pennsylvania, Inc c/o James Wilson  
**Affected Property:** 4622 Bethlehem Pk - TMP # 15-001-007  
**Zoning District(s):** HI – Heavy Industrial  
**Requested Action:** Applicant is requesting a special exception to establish a G6 use – Fuel Storage and distribution.  
**Summary:** Applicant is requesting a special exception to establish a G6 use – Fuel Storage and distribution for Waste Management’s fleet.  
**Requested Variance:** *ZO Table 160 Attachment 2. Table of Use Regulations.*

cc: File



HILLTOWN TOWNSHIP
13 West Creamery Road
P.O. Box 260
Hilltown, PA 18927
(215) 453-6000 Fax: (215) 453-1024
www.hilltown.org

APPEAL TO ZONING HEARING BOARD
HILLTOWN TOWNSHIP

Please note: It is required that all applicants make an application for a Subdivision/Land Development and/or apply for a Zoning Permit and receive a review from the Township prior to submitting an application to the Zoning Hearing Board.

TOWNSHIP USE:
Appeal #:
Date Filed:
Received By:

PLEASE COMPLETE ALL SECTIONS OF THE APPLICATION

PLEASE ATTACH ALL REQUESTED DOCUMENTATION. FAILURE TO COMPLETE ALL SECTIONS OR ATTACH ALL REQUESTED DOCUMENTATION MAY RESULT IN A DENIAL OF YOUR APPLICATION. YOUR INITIALS BELOW INDICATE THAT YOU HAVE A COMPLETE UNDERSTANDING OF THE SAME.

THE TOWNSHIP WILL NOT ACCEPT APPLICATIONS UNLESS INITIALED BELOW



Initials

Date: 11/02/2023

1. Applicant:

a. Name: Waste Management of Pennsylvania, Inc. - James A. Wilson, Vice President

b. Mailing Address: 720 Butterfield Rd., Lombard, IL 60148

c. Phone Number: 414-218-1695 Email: mdickman@wm.com; nberner@div-eng.com; chanstine@div-eng.com; nberner@wn.com

d. State whether the Applicant is: (Check one or more if applicable)

- X Owner of Legal Title
Owner of Equitable Title
Tenant with the Permission of Legal Title

2. Applicant's Attorney: (if any)

a. Attorney's and Firm Name:

b. Mailing Address:

c. Phone Number: Fax No.:

d. Email Address:

# HILLTOWN TOWNSHIP ZONING AND BUILDING DEPARTMENT

3. Property Information:

a. Present Zoning Use Classification: Residential (Zoned HI), Industrial (Zoned HI)

b. Tax Parcel Number: 15-001-007-001, ~~15-001-007~~

c. Location: (with reference to nearby intersections or prominent features):

4622 Bethlehem Pike, Telford, PA - From the intersection of State Rd. (152) and Bethlehem Pike, head south on Bethlehem Pike for 0.6 miles. Subject parcel is on the right.

4. Present Use: Residential (non-conforming), Industrial

5. Proposed Use:(if different) Industrial, Industrial

6. Classification of Appeal: (Check one or more if applicable)

- A. Request for a Variance (Zoning Ordinance §160-104.A)
- B. Request for Special Exception (Zoning Ordinance §160-104.B)
- C. Interpretation of Law
- D. Appeal from action of the Zoning Officer (Attach all related correspondence)
- E. Other (Please specify)

7. Cite Zoning Ordinance sections applicable to, and summarize, relief request:  
(use separate paper if necessary)

~~Special Exception (Section 160-02B.(3)) Non-conforming use G6 - Fuel storage and distribution for~~  
~~TMP #15-1-7-1.~~ The G6 - Fuel Storage and distribution requires a special  
exception per Ch. 160 attachment 2.

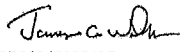
8. Have any previous appeals been filed regarding this property:  Yes  No

a. If yes, please explain: TMP #15-1-7-1 buffer yard variance approval (Section 160-33D.(1)(a))

- 15 feet relief of Type 1 buffer from 35 to 20 foot width along southern boundary.

b. Prior Appeal Number: 2023-004

I (We) hereby certify that the above information is true and correct to the best of my (our) knowledge, information or belief.

Name:  Date: 11/02/2023  
E8DFG934632542E  
James A. Wilson, Vice President - Waste Management of Pennsylvania, Inc.

Name: \_\_\_\_\_ Date: \_\_\_\_\_

**BUCKS COUNTY RECORDER OF DEEDS**

55 East Court Street  
Doylestown, Pennsylvania 18901  
(215) 348-6209

Instrument Number - 2022000275

Recorded On 1/3/2022 At 11:43:40 AM

\* Total Pages - 5

\* Instrument Type - DEED

Invoice Number - 1246693 User - JLC

\* Grantor - MALONEY, DENNIS JR

\* Grantee - WASTE MANAGEMENT OF PENNSYLVANIA INC

\* Customer - SIMPLIFILE LC E-RECORDING

**\* FEES**

STATE TRANSFER TAX	\$3,875.00
RECORDING FEES	\$81.75
PENNRIDGE SCHOOL	\$1,937.50
DISTRICT REALTY TAX	
HILLTOWN TOWNSHIP	\$1,937.50
TOTAL PAID	\$7,831.75

Bucks County UPI Certification  
On January 3, 2022 By LMC

**COPY**

This is a certification page  
**DO NOT DETACH**  
This page is now part  
of this legal document.

RETURN DOCUMENT TO:  
CHICAGO TITLE PHILADELPHIA COMMERCIAL -  
1515 MARKET ST STE 1  
1700 MARKET ST STE 2100  
PHILADELPHIA, PA 19103-3919

I hereby CERTIFY that this document is  
recorded in the Recorder of Deeds Office  
of Bucks County, Pennsylvania.



*Daniel J. McPhillips*

Daniel J. McPhillips  
Recorder of Deeds

\* - Information denoted by an asterisk may change during  
the verification process and may not be reflected on this page.

19C2B5



**THIS DEED**

**MADE** the 4 day of December, 2021

**BETWEEN**

Dennis Maloney, Jr. and Noelle E. Maloney, husband and wife,

(hereinafter called "Grantors")

**AND**

Waste Management of Pennsylvania, Inc. a Pennsylvania corporation,

(hereinafter called "Grantee")

**WITNESSETH**, that the said Grantors in consideration of Three Hundred Eighty Seven Thousand Five Hundred and no/100 Dollars (\$387,500.00), paid to the Grantors by the Grantee, receipt of which is hereby acknowledged, do grant, bargain, sell and convey to the said Grantee, its successors and/or assigns, all of the Grantors' right, title and interest in and to the following property:

ALL THAT CERTAIN tract of land situate in the Township of Hilltown, County of Bucks and Commonwealth of Pennsylvania, being known as Lot No. 1 of the Subdivision Plan made for Richard L. Dunkle, recorded July 15, 1983 in the Bucks County Recorder of Deeds Office in Plan Book Volume 218, page 23, and bounded and described as follows:

BEGINNING at a point on the westerly ultimate right-of-way line of Bethlehem Pike U.S. Traffic Route #309 (100.00 feet wide ultimate right-of-way), said point being a corner of this and of land of Leroy Haberle; thence from said point and along lands of Leroy Haberle South 84 degrees 17 minutes 25 seconds West 256.58 feet to a point, a corner of this and of lands of Leroy Haberle and of Lot #2 of the above mentioned Subdivision; thence from said point and along lands of Lot #2 North 10 degrees 45 minutes 10 seconds West, 262.56 feet to a point, a corner of this and of Lot #2 and of lands of Penncast Products, Inc. and of lands of Norman Good; thence from said point and along lands of Norman Good and Union National Bank and Trust Company respectively North 64 degrees 39 minutes 50 seconds East, 363.95 feet to a point on the westerly ultimate right-of-way of Bethlehem Pike U.S. Traffic Route #309, a corner of this and of



lands of Union National Bank and Trust Company; thence from said point and along the westerly ultimate right-of-way line of Bethlehem Pike U.S. Traffic Route #309 South 03 degrees 38 minutes 00 seconds West, 388.95 feet to the point and place of beginning.

CONTAINING 2.192 acres of land more or less.

BEING Tax Parcel No. 15-1-7-1.

BEING the same property conveyed to Dennis Maloney, Jr. and Noelle E. Maloney, husband and wife, by deed from Bruce K. Loop and Nancy L. Loop, husband and wife, dated February 28, 2002 and recorded March 1, 2002 in the Bucks County Recorder of Deeds Office in Record Book 2618, page 1931

**UNDER AND SUBJECT TO** coal and mining rights and all rights and privileges incident to the mining of coal heretofore conveyed, excepted or reserved by instruments of record; the right of surface, lateral or subjacent support; or any surface subsidence.

with the appurtenances thereto. **TO HAVE AND TO HOLD** the same to and for the use of the said Grantee, its successors and assigns forever, and the Grantors' for their heirs and assigns hereby covenant and agree that they will specially warrant title to the property hereby conveyed.

COPY

**WITNESS** the hand and seal of the said Grantors.

WITNESS:

\_\_\_\_\_  
\_\_\_\_\_

Dennis Maloney Jr  
Dennis Maloney, Jr.

Noelle E Maloney  
Noelle E. Maloney

Commonwealth of Pennsylvania )

County of Montgomery )

ss:

**COPY**

On this the 4 day of December, 2021, before me, a Notary Public, the undersigned officer, personally appeared Dennis Maloney, Jr. and Noelle E. Maloney, husband and wife, known to me (or satisfactorily proven) to be the persons whose names are subscribed to the within instrument, and acknowledged that they executed the same for the purposes therein contained.

**IN WITNESS WHEREOF**, I have hereunto set my hand and official seal.

Commonwealth of Pennsylvania - Notary Seal  
ROBERT J MAHON - Notary Public  
Montgomery County  
My Commission Expires October 7, 2025  
Commission Number 1218712

Robert J Mahon  
Notary Public

My commission expires: October 7, 2025

## Zoning Letter of Denial

---

**From:** Caitlin Mest, EIT, BCO, CFM <[cmest@barryisett.com](mailto:cmest@barryisett.com)>  
**Sent:** Wednesday, September 27, 2023 2:06 PM  
**To:** [nberner@div-eng.com](mailto:nberner@div-eng.com)  
**Cc:** Building and Zoning <[buildingandzoning@hilltown.org](mailto:buildingandzoning@hilltown.org)>; Jack Wuerstle <[jackw@wuerstlelaw.com](mailto:jackw@wuerstlelaw.com)>  
**Subject:** RE: Waste Management - Use Determination

Hello Nick,

Thank you for your clarifications on the matter of Waste Management. It has been determined that the appropriate classification of the use is G6 – Fuel storage and distribution. The G-6 use requires a special exception approval per Table 160 Attachment 2. You may file a zoning hearing board application for the special exception.

<https://hilltown.org/media/5009/zoning-hearing-board-application.pdf>

Also, please submit a letter to me and Jack Wuerstle with the intent to withdraw the conditional use application.

Let me know if you have any questions or concerns.

Have a good day,

Caitlin Mest, EIT, BCO, CFM

**From:** Building and Zoning <[buildingandzoning@hilltown.org](mailto:buildingandzoning@hilltown.org)>  
**Sent:** Tuesday, September 26, 2023 4:26 PM  
**To:** Caitlin Mest, EIT, BCO, CFM <[cmest@barryisett.com](mailto:cmest@barryisett.com)>  
**Subject:** FW: Waste Management - Use Determination

**Caution:** External email. If unexpected, verify source via phone before accessing links or attachments.

**From:** Nick Berner <[nberner@div-eng.com](mailto:nberner@div-eng.com)>  
**Sent:** Tuesday, September 26, 2023 3:48 PM  
**To:** Building and Zoning <[buildingandzoning@hilltown.org](mailto:buildingandzoning@hilltown.org)>  
**Cc:** Jack Wuerstle <[jackw@wuerstlelaw.com](mailto:jackw@wuerstlelaw.com)>  
**Subject:** Re: Waste Management - Use Determination

Caitlin,

Thank you for the follow-up call. As we discussed over the phone. The fleet vehicles parking in this area leave the site during normal business hours from approximately 6am to 4pm while out on routes. Upon arrival back on site, the fleet vehicles park and connect to the fueling system for CNG. Once all vehicles return, the compressors turn on to fuel the connected fleet overnight, approximately 6 hours, so the trucks are full for the next working day.

On Tue, Sep 26, 2023 at 9:45 AM Nick Berner <[nberner@div-eng.com](mailto:nberner@div-eng.com)> wrote:

Please see responses below in red

1. Will there still be storage of trash hauling vehicles and containers on the property as originally determined as H9 – Outdoor Storage? The operational plan for the site would be to shift the entire fleet to the new parking lot. Then the area where the fleet currently sits would be utilized for the container storage.
2. Due to the quantity of the CNG Time-Fill Trusses, I am assuming this a large part of the operational model to fill the trucks. Please confirm. Identifying the amount of gas storage on the property will also be useful to determine if it is a G6 – Fuel storage and distribution use. Correct, the trusses serve primarily as fueling connections for the Compressed Natural Gas (CNG) fleet vehicles. The fueling and measuring the amount of gas stored at the site is a moving target as it is not a traditional fuel like diesel where there would be a set holding tank size. The natural gas would come in off a traditional gas main, then go through a compressor that pressurizes the fleet vehicles CNG tanks to operational pressure simultaneously. Once the fleet is fueled, the compressor switches off and no additional natural gas would be drawn from the gas main.
3. Please note, Hilltown Township permits multiple principal uses on a property. Therefore, I am determining the correct use classification along with the potential of both uses on the property being appropriate. Understood. It would be the owner's preference that the fueling operations be deemed an incidental aspect of the H9 use or the fleet parking/CNG fueling areas be deemed as a G6, rather than going through both the special exception and conditional use process.

On Thu, Sep 21, 2023 at 1:01 PM Building and Zoning <[buildingandzoning@hilltown.org](mailto:buildingandzoning@hilltown.org)> wrote:

Hello Nick,

I do have some follow up questions regarding the operational aspect of the facility in order to classify the use.

1. Will there still be storage of trash hauling vehicles and containers on the property as originally determined as H9 – Outdoor Storage?
2. Due to the quantity of the CNG Time-Fill Trusses, I am assuming this a large part of the operational model to fill the trucks. Please confirm. Identifying the amount of gas storage on the property will also be useful to determine if it is a G6 – Fuel storage and distribution use.
3. Please note, Hilltown Township permits multiple principal uses on a property. Therefore, I am determining the correct use classification along with the potential of both uses on the property being appropriate.

Thank you,

Caitlin M. Mest, EIT, BCO, CFM, CZO

Zoning Officer

Hilltown Township

215.453.6000 x214

**From:** Nick Berner <[nberner@div-eng.com](mailto:nberner@div-eng.com)>  
**Sent:** Monday, September 18, 2023 3:52 PM  
**To:** Building and Zoning <[buildingandzoning@hilltown.org](mailto:buildingandzoning@hilltown.org)>  
**Cc:** Jack Wuerstle <[jackw@wuerstlelaw.com](mailto:jackw@wuerstlelaw.com)>  
**Subject:** Waste Management - Use Determination

Ms. Mest,

Diversified Engineering, on behalf of Waste Management of Pennsylvania, is requesting a use determination on whether Compressed Natural Gas (CNG) time-fill facilities proposed on TMP #15-1-7-1 would be classified as a use incidental to Use H9 (Outdoor/Wholesale Storage), or if the proposed site operations would be determined as G6 (Fuel Storage and Distribution).

A sketch plan associated with this application was reviewed and discussed at a Zoning Meeting held on October 18, 2021. The Zoning Officer had determined that the storage of trash hauling vehicles and containers is an outdoor/wholesale storage (H9) use, which is permitted by conditional use within the HI zoning District. Since that review, the only addition to the plan has been the potential to add a green fueling system and fleet to the site. Please see the attached updated site plan and photos of a typical CNG Time-Fill Truss and Open Air Compound CNG Compound.

--  
Thank you

**Nick Berner, P.E.**

Project Manager

Email: [nberner@div-eng.com](mailto:nberner@div-eng.com)

Cell Phone: 330-432-4905

--

Thank you

**Nick Berner, P.E.**

Project Manager

Email: [nberner@div-eng.com](mailto:nberner@div-eng.com)

Cell Phone: 330-432-4905

--

Thank you

**Nick Berner, P.E.**

Project Manager

Email: [nberner@div-eng.com](mailto:nberner@div-eng.com)

Cell Phone: 330-432-4905



**Diversified  
Engineering Inc.**  
CONSULTING ENGINEERS & SURVEYORS

Hilltown Township  
Attn: Zoning Hearing Board  
13 West Creamery Road  
Hilltown, PA 18927

July 26, 2024

Reference: Appeal to Zoning Hearing Board Hilltown Township – Parcel #s 15-001-007-001 & ~~15-001-007~~

Dear Members of the Zoning Hearing Board,

Waste Management of Pennsylvania Inc. is requesting a special exception of a G-6 – fuel storage and distribution use approval for parcel 15-001-007-001 (TMP #15-1-7-1) and ~~parcel 15-001-007 (TMP #15-1-7)~~. The approval of the special exception would allow the current landowner, Waste Management of Pennsylvania Inc., to improve interior site traffic flow, employee safety, and reduce traffic along Progress Drive with the direct access to Bethlehem Pike, as well as allow WM to replace existing diesel fleet vehicles with low emission green technology fleet vehicles.

Initial sketch plan review and prior site permitting designated the existing and proposed expanded use as H9 – Outdoor/Whole Storage. The subject parcel TMP #15-1-7 was the subject of a prior Special Exception decision issued by the Zoning Hearing Board in 1995, see Attachment B, which allowed the expansion of an existing non-conforming storage use on the property for containers/trucks. At the time, the use was defined as Outdoor/Whole Storage (H9). The H9 use is currently permitted by conditional use in the HI Zoning District.

The landowner applied for conditional use approval from the Plan Commission for parcel TMP #15-1-7-1 on July 7, 2023. Upon review of the conditional use application by Wynn Associates, Inc., on behalf of Hilltown Township, the question was raised for use determination for the fueling infrastructure proposed onsite. A request was then submitted to the Zoning Officer for a determination on a revised use for the site or designation for the fueling operations to be an auxiliary item for the H9 use. On September 27, 2023 the Zoning Officer made the determination that the appropriate use classification is G6 – Fuel storage and distribution.

The proposed design would incorporate overhead truss fueling system with connection ports for each individual vehicle (Figures 3 and 4). The fueling system does not incorporate any permanent high-pressure vessels that are pumped into the fleet vehicles, rather the system relies on a typical natural gas service feed that is run through either a single or series of compressors to fill the fleet in real time. The compressors are placed in an open-air compound (Figures 1 and 2) adjacent to the fleet parking as designated on the proposed site plan. The fueling system would be used for WM fleet fueling only, no third-party or retail fueling operations are proposed for this development.





**Diversified  
Engineering Inc.**  
CONSULTING ENGINEERS & SURVEYORS



**Figure 1: Typical Natural Gas Compressor**



**Figure 2: Typical Open-Air CNG Compound**





**Diversified  
Engineering Inc.**

CONSULTING ENGINEERS & SURVEYORS



**Figure 3: Typical Overhead CNG Fueling Truss**



# Diversified Engineering Inc.

CONSULTING ENGINEERS & SURVEYORS



**Figure 4: Typical CNG Fleet Vehicle Fueling Connection**



# Diversified Engineering Inc.

CONSULTING ENGINEERS & SURVEYORS

Thank you for your consideration,

Respectfully Submitted,

Curtis W. Hanstine, P.E.  
Project Manager

List of Attachments:

Attachment A: Wynn Associates, Inc. Engineering Review Letter

Attachment B: 1995 Zoning Hearing Board Special Exception Decision

Attachment C: Draft Lot Consolidation prepared by Civil & Environmental Consultants, Inc.



**Diversified  
Engineering Inc.**

CONSULTING ENGINEERS & SURVEYORS

## **Attachment A**

**WYNN ASSOCIATES, INC.**  
**MUNICIPAL ENGINEERING SERVICES**

(215) 536-7336 • FAX (215) 536-5361  
211 West Broad Street • Quakertown • PA • 18951

August 9, 2023

David Christ, Jr., Chairperson (via email)  
Planning Commission  
Hilltown Township  
P.O. Box 260  
13 W. Creamery Road  
Hilltown, PA 18927

Subject: Waste Management of Pennsylvania, Inc. Conditional Use  
300 Progress Drive & 4622 Bethlehem Pike  
TMP #15-1-7 & #15-1-7-1  
File No. 01-656

Dear Planning Commission Members,

The following comments and/or recommendations are made with respect to the subject conditional use application, which was received by the Township on July 7, 2023:

**SUBMISSION:**

Applicant seeks conditional use approval to expand an existing outdoor/wholesale storage (H9) use on TMP #15-1-7; and establish an outdoor/wholesale storage (H9) use on TMP #15-1-7-1 within the HI Zoning District. TMP #15-1-7 (10.89 acres) currently contains a truck maintenance building, parking areas, and driveway access on Progress Drive. A 4,900 SF office building and 22 truck parking spaces will be constructed as part of the expanded use of the site. TMP #15-1-7-1 (2.19 acres) previously contained a single family detached dwelling (since removed), and is proposed for construction of 48 truck parking spaces with driveway access along Bethlehem Pike. Site is bounded to the north by land in commercial/residential use, to the south by a non-conforming junkyard/residence, to the east by Bethlehem Pike, and to the west by industrial uses.

**DISCUSSION:**

1. A sketch plan associated with this application was reviewed by this office within correspondence dated October 7, 2021, and was discussed at your meeting held on October 18, 2021. The Zoning Officer has determined that the storage of trash hauling vehicles and containers is an outdoor/wholesale storage (H9) use, which is permitted by conditional use within the HI Zoning District. Section 160-94 of the Zoning Ordinance contains criteria for consideration by the Township when reviewing conditional use applications. Based on information and testimony provided by the applicant, the Township should determine if the use meets various standards set forth in Section 160-94, including safe access, compatibility with surrounding existing uses, buffering, lighting, and conformance to applicable use regulations of the Ordinance. The Planning Commission should provide a recommendation to the Board of Supervisors relative to compliance with the various standards set forth in the Zoning Ordinance.
2. Pursuant to a Written Decision dated April 13, 2023, the Zoning Hearing Board granted relief from requirements of Section 160-33.D(1)(a) of the Zoning Ordinance, which requires a Class 1 (35 feet wide) buffer yard, where the site abuts existing (non-conforming) residential uses. Relief was approved subject to the applicant providing a 20 feet wide buffer yard, containing all required Class 1 landscaping, in addition to fencing to act as a screen.

With the exception of the above relief, the project must comply with all other requirements of the Zoning Ordinance.



3. General conditions of Section 160-94.A of the Zoning Ordinance specify the following:
  - A. The Board of Supervisors shall determine that access to the site is safe and may refuse to permit a conditional use where insufficient distance between a curb cut and a street intersection is provided, or require combining of access with an adjoining land use. The Board may require off-site traffic improvements where a hazardous condition would otherwise be created. *Plan identifies a new driveway access along Bethlehem Pike, which requires approval from PennDot via issuance of a Highway Occupancy Permit. The expanded parking facility will also include an interconnection to existing parking facilities within TMP #15-1-7, which currently utilize a single access along Progress Drive. Testimony pertaining to the number of new/additional trips that will be generated by the project should be provided to the Township in order to assess the potential impact of the project on the surrounding road network; and proposed access design. It is further noted that a Traffic Impact Study may be required to be submitted with a preliminary land development plan submission pursuant to Section 140-20 of the Land Development Ordinance.*
  - B. The Board of Supervisors shall require that the proposed use be made compatible with surrounding existing uses. Conditions controlling planting of shade trees, evergreen buffers, and planted berms may be imposed to create a buffer beyond the normal requirements of this chapter. *As discussed above, a Type 1 (20 feet wide) buffer yard is required along the southern property boundary common with TMP #15-1-8-2, which must be planted in accordance with Type 1 landscaping requirements of the Zoning Ordinance. A Type 5 (20 feet wide) buffer yard is required along the perimeter of the proposed parking facilities in accordance with Section 160-33 of the Zoning Ordinance. A landscaping plan was not submitted for review, which identifies the number, type, location, and size of landscaping proposed to comply with buffer yard planting requirements of the Zoning Ordinance. A fence of indeterminate height/style is also proposed around the perimeter of the parking facility. Plan also identifies proposed grading to establish a berm along the north, south and east sides of the parking facility. Township may consider whether some additional screening materials (evergreen trees) should be proposed to supplement required buffer yard landscaping in these areas; and/or whether additional landscaping (which may also count toward satisfying street tree and/or replacement tree requirements of the Land Development Ordinance) should be proposed elsewhere on the site, especially to provide some visual buffer between the proposed building and Bethlehem Pike.*
  - C. The Board of Supervisors shall impose conditions on lighting and signs to ensure that glare does not disrupt residential areas, distract motorists, or intrude in the background near traffic lights. *No information was submitted to confirm whether any new or additional site lighting is proposed, and if so, that proposed site lighting will comply with performance principles of Section 160-41 of the Zoning Ordinance. (The "Typical Overhead CNG Truss" detail appears to indicate some sort of light fixture to be mounted on the truss column). Applicant should confirm whether lighting is proposed, and if so, a lighting plan should be submitted for review relative to requirements of Section 160-41 of the Zoning Ordinance. If lighting is proposed, hours of operation should be determined, so that all lighting will be extinguished between 11:00 PM and 7:00 AM (as required by Section 160-41.D(6)), and if not, consideration should be given to reducing lighting levels during this time as stated in Section 160-41.D(7) of the Zoning Ordinance.*
4. In accordance with Section 160-94.B of the Zoning Ordinance, the Board of Supervisors shall make favorable findings on all of the following:
  - A. That the proposal is appropriate to the tract in question and will not disrupt or destroy the character of stable residential neighborhoods. *It is noted that the project involves an industrial use in an industrial zoning district. Land abutting the site is also industrially zoned, excepting across Bethlehem Pike from the site, which is zoned PC-1.*

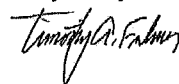
- B. That the proposal provides for adequate access to public roads, without creating hazardous conditions at intersections or areas of poor road alignment, and without creating undue congestion. *As discussed above in Comment #3.A, additional information should be provided relative to possible increase in traffic as part of the expanded use.*
- C. That (the proposal) conforms to all applicable requirements of this chapter. *A "CNG Exhibit" Plan, sheet X1.0, dated April 5, 2023, prepared by Diversified Engineering, Inc., was submitted, which shows the layout of the site improvements, but does not contain any tabulations/requirements to confirm that the proposal will comply with all area, dimensional, use regulations, parking, buffer, nuisance standards, and resource protection requirements of the Zoning Ordinance (or as otherwise modified by approval of the Zoning Hearing Board). Testimony should be provided to confirm that the project will comply with all applicable requirements of the Zoning Ordinance. It is also unclear whether compliance with area and dimensional requirements of the Zoning Ordinance necessitates the consolidation of the two parcels, which should be addressed.*
5. Information should be provided to confirm whether the proposal involves additional water and sewage disposal needs; and if so, that Telford Borough Authority is willing and able to provide water supply and sewage disposal for the proposed use.
6. Plan identifies that Compressed Natural Gas (CNG) time-fill facilities are proposed within the expanded truck parking areas, which also includes an "open air CNG compound area" on TMP #15-1-7-1. Information regarding the storage and handling of the alternative fueling facilities should be provided, including whether Local/State/Federal permits have been obtained for the proposed facilities. Zoning Officer should also determine whether the fueling facility is classified as a use incidental to Use H9, or is otherwise a separate use of the site. Based on regulations for Use H9, as referenced in Section 160-23.H(9) of the Zoning Ordinance, it is questioned whether storage of flammable material (i.e. natural gas) and the height of the fueling facilities (>8 feet) is permissible.
7. In the event that Conditional Use approval is granted, the applicant is required to submit a complete preliminary land development plan application to the Township, prepared in accordance with Section 140-17 of the Land Development Ordinance.

**RECOMMENDATION:**

Conditional use approval should not be granted unless the above items are resolved in a manner satisfactory to the Township.

If you have any questions, do not hesitate to contact me.

Very Truly Yours,



Timothy Fulmer, P.E.  
Township Engineer

TAF

**Hilltown Township Planning Commission (via email)**

**Subject: Waste Management Conditional Use**

**August 9, 2023**

**Page 4**

cc: Jon Apple, Vice Chairperson, Planning Commission (via email)  
Eric Nogami, Secretary, Planning Commission (via email)  
Frank Henofer, Planning Commission (via email)  
Robert Sichelstiel, Planning Commission (via email)  
James Groff, Chairperson, Board of Supervisors (via email)  
Caleb Torrice, Vice Chairperson, Board of Supervisors (via email)  
John B. McIlhinney, Supervisor, Board of Supervisors (regular mail)  
Lorraine Leslie, Township Manager (via email)  
Marianne Egan, Township Finance Director (via email)  
Lisa Faust, Township Administrative Assistant (via email)  
Theresa Spehar, Township Administrative Assistant (via email)  
Jack Wuerstle, Esq. (via email)  
Waste Management of Pennsylvania, Inc. (via email)  
Diversified Engineering, Inc. (via email)





**Diversified  
Engineering Inc.**

CONSULTING ENGINEERS & SURVEYORS

## **Attachment B**

01-124

HILLTOWN TOWNSHIP ZONING HEARING BOARD

In Re: Application of Waste Management of Indian Valley, a division of Waste Management of Pennsylvania, Inc.

Appeal No. 95-05

The hearing was held in the above matter on Thursday, June 1, 1995. Notice of the hearing was published in the Perkasio News-Herald on Wednesday, May 10 and Wednesday, May 17, 1995, advising that all parties in interest might appear and be heard. In addition, written notice was provided to all neighboring property owners.

The Application was heard before Board members John L. Snyder, Chairman, Charles Grasse and Joel L. Ward. Applicant, Waste Management, was represented in this appeal by Stephen S. Aichele, Esquire. In support of the appeal, Applicant introduced the testimony of Pat Kelly, Division President, John T. Moore, Civil Engineer and Planner, and John F. Ryan, Esquire. No persons present requested party status.

The following exhibits were admitted and accepted into evidence during the course of the hearing:

- B-1 Proof of Publication
- A-1 Appeal to Zoning Hearing Board Application and enclosures
- A-2 Overall Location Plan for site dated April 26, 1995
- A-3 New Site Master Plan dated April 26, 1995

A-4 Resume of John T. Moore, P.E.

A-5 Letter dated March 16, 1994 to Richard L. Godshall, Waste Management of Indian Valley from Bucks County Conservation District

After considering the sworn testimony of all witnesses, and the documentary evidence submitted, the Hilltown Township Zoning Hearing Board rendered the decision in the above application as more fully set forth below:

FINDINGS OF FACT

1. Applicant, Waste Management of Indian Valley, a division of Waste Management of Pennsylvania, Inc., is a Pennsylvania corporation with a principal place of business located at 400 Progress Drive, Telford, Pennsylvania 18969.

2. Applicant is the owner of Tax Parcel No. 15-1-7 located on Progress Drive consisting of approximately 10.886 acres (hereinafter the "Property").

3. The Property is located within the HI/Heavy Industrial Zoning District.

4. Applicant is also the owner of a nearby property in Hilltown Township consisting of approximately 3.362 acres located at 400 Progress Drive and known as Tax Parcel 15-1-4-2.

5. Applicant currently operates a waste collection and recycling facility on Tax Parcel 15-1-4-2 which is permitted by the State of Pennsylvania for said use.

6. Applicant currently uses the Property which is the subject of this appeal for outside container storage in connection with its

waste collection and disposal business conducted on its neighboring property located at 400 Progress Drive.

7. Applicant's outside storage use on the Property is a continuation of the outside storage primary use of the property made by its predecessor in title Rotondo Penn Cast Products.

8. The properties surrounding the Property are characterized by light and heavy industrial uses.

9. Applicant testified that the ongoing expansion and development of its waste collection and recycling business has created the need for additional container and truck storage on the Property.

10. Applicant testified concerning current traffic congestion and safety concerns related to its present activities on 400 Progress Drive and the use by the public of the recycling drop-off facility.

11. Applicant testified that the primary use of outside storage would encompass approximately 80 trucks to be stored on the premises and approximately 600 containers, none to be stacked more than two high.

12. Applicant testified that no refueling would occur at the property.

13. Applicant's plans include the construction of an accessory office wherein personnel would be employed whose activities would relate to the management of the trucks and containers to be stored on the property.

14. Applicant's plans propose to construct a maintenance building related to the repair and upkeep of the containers and trucks stored on the property.

15. Applicant testified that if the extension of use was permitted, Applicant could otherwise conform with all setback, yard, dimensional, parking, sign, environmental and other requirements of the Hilltown Township Zoning and Subdivision and Land Development Ordinances.

#### DISCUSSION

Applicant is before this Board seeking a request for a special exception under §909 and §601 of the Hilltown Township Zoning Ordinance of 1995 or in the alternative, a request for a variance under §909. As the Board determines that a special exception is appropriate under the unique facts and circumstances of this case, the variance issue will not be addressed below.

Section 600 of the Zoning Ordinance provides for the lawful continuance of nonconforming uses. Section 601, paragraph 2, provides that a nonconforming use may be extended by special exception. Section 909, paragraph 3, states that the Board, in considering and passing upon applications for special exceptions, shall consider all relevant factors and procedures specified in the Zoning Ordinance, including Article 4, Use Regulations, as well as the additional provisions of subparagraphs 3.1 through 3.11.

In reaching its conclusion that a special exception is appropriate under the unique facts and circumstances of this case,

the Board must first note that Article 4, Section 405, Table of Use Regulations, expressly provides, by way of conditional use, for outside storage to be an allowable principal use of a property located in the HI Industrial District. H9 - Outdoor/Wholesale Storage allows for outdoor storage as a primary use of land not including a junkyard or auto salvage, subject to the additional requirements of subparagraphs 1 through 7. Furthermore, where outside storage is the primary use of the property, accessory uses including I4 - Accessory Building; I7 Off-street Parking; and I14 - Commercial Accessory Office are expressly permitted.

The Board concludes that the outside storage of trucks and containers on the property is the primary use of the property which is allowable under the terms of the Ordinance by special exception under §601. Furthermore, the construction of the office building and truck maintenance shed are expressly contemplated as permitted uses by the Zoning Ordinance under Sections 406.H9, 406.I4 and 406.I14.

Turning to the additional factors under §909 supporting the Board's grant of this special exception, the Board notes that the proposed extension of the use does not encroach upon another parcel of land subsequently added to the original tract. Applicant testified that its proposed extension will otherwise conform with all setback, yard, dimensional, building height, parking, sign, environmental and other requirements of the district in which the extension is located. The Board further determines that Applicant's proposed extension of use is suitable for the property

and is regulated by appropriate conditions and safeguards. The public interest is served in that the overall appearance of the property will be substantially enhanced and Applicant testified to a decrease in traffic congestion at the recycling facility public drop-off access.

Furthermore, Applicant's proposed extension of use is compatible with the use of surrounding properties and with uses allowable in the HI - Heavy Industrial Zoning District. Applicant testified further that the use would not be any more objectionable to nearby properties in terms of noise, fumes, vibration or lights than would the operations of other permitted uses than the operations of other uses expressly permitted in the HI District. Applicant further testified that there would not be an increase in truck traffic due to the proposal. The use appears to be compatible with existing development and development anticipated in the foreseeable future in the surrounding area. And finally, based upon the testimony of the Applicant, the granting of the special exception will not result in additional threats to the public safety, extraordinary public expense, create nuisances, cause fraud or victimization of the public, or conflict with the local laws or ordinances.

The Board notes in reaching this decision that the development of the property will be further reviewed under the terms of the Subdivision and Land Development Ordinance and that Applicant will further be subject to all other applicable federal, state, and

local laws and regulations applicable to the construction and use of the property by Applicant.

CONCLUSION

AND NOW, this 22<sup>nd</sup> day of June, 1995, the Hilltown Township Zoning Hearing Board hereby grants Applicants request for a special exception to allow the extension of outdoor truck and container storage on the property as the principal use, together with accessory buildings as set forth on Applicant's April 26, 1995 New Site Master Plan, said accessory buildings allowable under Section 406.H9, 406.I4 and 406.I14 of the Hilltown Township Zoning Ordinance of 1995. In reaching this decision, the Board hereby attaches the following mandatory conditions:

1. The Applicant shall otherwise comply with all yard, setback, buffering, parking, and other dimensional requirements of the Zoning Ordinance, including but not limited to those applicable to the I4 and I14 accessory buildings.
2. Applicant shall otherwise comply with all applicable Township Ordinances concerning the land development and construction proposed for the property.
3. The Applicant shall comply with all applicable federal and state laws or regulations governing Applicant's construction and subsequent use of the property.



The Board hereby deems the above conditions and safeguards necessary to implement the purposes of the Zoning Ordinance.

HILLTOWN TOWNSHIP ZONING HEARING BOARD

By: John L. Snyder  
John L. Snyder, Chairman

By: Charles Grasse  
Charles Grasse

DISSENTING

By: Joel L. Ward  
Joel L. Ward

GRIM, BIEHN, THATCHER & HELF

BY: Jeffrey C. Trauger  
Jeffrey C. Trauger, Esq.  
Attorney I.D. #56008  
Solicitor  
Sixth and Chestnut Streets  
Perkasie, Pennsylvania 18944



**Diversified  
Engineering Inc.**

CONSULTING ENGINEERS & SURVEYORS

## **Attachment C**

SUBMITTAL RECORD			REVISION RECORD		
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION

**NOTES:**

- BOUNDARY INFORMATION IS TAKEN FROM A FIELD SURVEY COMPLETED BY CML & ENVIRONMENTAL CONSULTANTS, INC. SURVEY FIELD CREW ON OCTOBER 27, 2022
- THE SUBJECT PARCELS ARE LOCATED WITHIN ZONE X BASED ON THE FIRM COMMUNITY PANEL 4201700285J EFFECTIVE DATE MARCH 16, 2015.
- THE SUBJECT PARCELS ARE SITUATED IN ZONING DISTRICT H (HEAVY INDUSTRIAL)
- PER PART II, CHAPTER 180, ARTICLE V, § 160-27, THE MINIMUM YARD AND LOT WIDTHS ARE AS FOLLOWS:
  - 50 FT FRONT YARD
  - 30 FT SIDE YARDS
  - 50 FT REAR YARD
  - 200 FT LOT WIDTH.
- THE LOT SIZES ARE AS FOLLOWS:
  - FORMER TM# 15-001-007 CONTAINS ±11.22 ACRES
  - FORMER TM# 15-001-007-001 CONTAINS ±2.20 ACRES
  - PROPOSED LOT CONTAINS ±13.42 ACRES
- FORMER TM# 15-001-007 INST# 2022000275, AND FORMER TM# 15-001-007-001 DB# 0358 PG# 0009, ARE TO BE ANNEXED TO AND JOINED IN COMMON DEED
- NEW LOT BOUNDARY DESCRIPTION BASED ON THE FIELD SURVEY COMPLETED IS AS FOLLOWS:
  - BEGINNING AT A REBAR SET AT THE NORTH EAST CORNER OF FORMER TM# 15-001-007-001 LOCATED ON THE WESTERN RIGHT-OF-WAY LINE TO BETHLEHEM PIKE, A.K.A. SR 4085; THENCE, ALONG SAID RIGHT-OF-WAY S 02° 09' 31" E, A DISTANCE OF 369.95' TO A POINT; THENCE, LEAVING SAID RIGHT-OF-WAY, S 78° 17' 40" W, A DISTANCE OF 256.58' TO A FOUND STONE; THENCE, S 54° 35' 32" W, A DISTANCE OF 810.15' TO AN IRON PIN TO BE SET; THENCE, S 20° 15' 41" W, A DISTANCE OF 136.88' TO A FOUND 8" REBAR; THENCE, N 89° 38' 07" W, A DISTANCE OF 458.26' TO A FOUND CONCRETE MONUMENT; THENCE, N 38° 38' 49" E, A DISTANCE OF 676.36' TO A FOUND CONCRETE MONUMENT; THENCE, S 55° 43' 26" E, A DISTANCE OF 51.05' TO A FOUND 1" IRON PIPE; THENCE, ALONG THE CENTERLINE OF PROGRESS DR, A.K.A. TWP 436, N 38° 28' 15" E, A DISTANCE OF 850.08' TO A POINT; THENCE, PASSING THROUGH A FOUND CONCRETE MONUMENT ON THE EASTERN RIGHT-OF-WAY LINE OF THE ABOVE MENTIONED PROGRESS DR., S 53° 33' 01" E, A DISTANCE OF 320.14' TO A FOUND CONCRETE MONUMENT; THENCE, N 58° 40' 17" E, A DISTANCE OF 365.90', TO THE PLACE OF BEGINNING.

**OWNERS CERTIFICATION OF INTENT**

WASTE MANAGEMENT OF PENNSYLVANIA, INC., BY ITS PRESIDENT AND SECRETARY, HAVE LAID OUT UPON OUR LAND SITUATED IN THE TOWNSHIP OF HILLTOWN, COUNTY OF BUCKS, COMMONWEALTH OF PENNSYLVANIA, LOTS AND STREETS ACCORDING TO THE ACCOMPANYING PLAN WHICH IS INTENDED TO BE FORTHWITH RECORDED.

WITNESS OUR HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

REPRESENTATIVE

REPRESENTATIVE

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF BUCKS  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, BEFORE ME THE  
SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN \_\_\_\_\_ PERSONALLY APPEARED \_\_\_\_\_ AND \_\_\_\_\_ WHO ACKNOWLEDGED THEMSELVES TO BE REPRESENTATIVES OF WASTE MANAGEMENT OF PENNSYLVANIA, INC., A CORPORATION, AND THAT AS SUCH PRESIDENT AND SECRETARY, BEING AUTHORIZED TO DO SO, THEY EXECUTED THE FOREGOING PLAN BY SIGNING THAT THE SAID CORPORATION IS THE REGISTERED OWNER OF THE DESIGNATED LAND, THAT ALL NECESSARY APPROVALS OF THE PLAN HAVE BEEN OBTAINED AND IS ENDORSED THEREON, AND THAT THEY DESIRE THAT THE FOREGOING PLAN BE RECORDED ACCORDING TO LAW.

WITNESS MY HAND AND NOTARIAL SEAL, THE DAY AND YEAR AFORESAID.

(SEAL)

NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_

APPROVAL OF THE BOARD OF SUPERVISORS OF HILLTOWN TOWNSHIP

APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF HILLTOWN THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

CHAIRPERSON

VICE-CHAIRPERSON

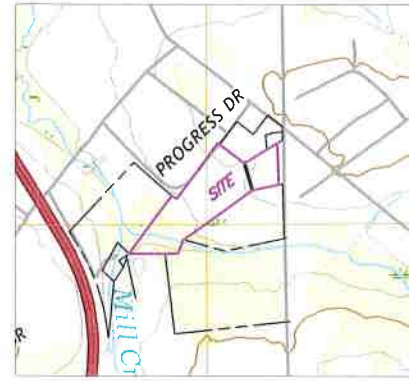
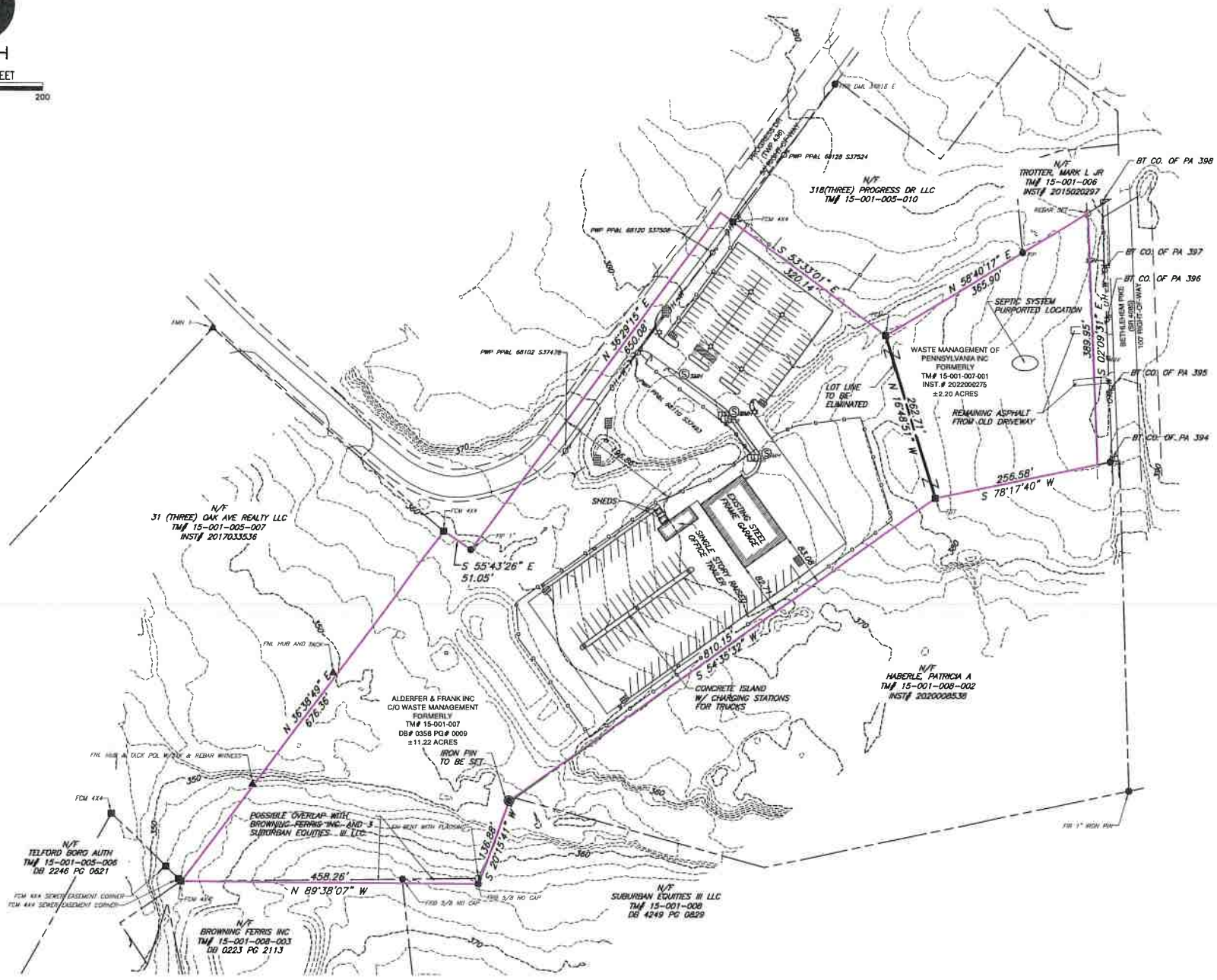
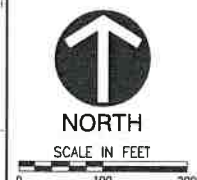
SUPERVISOR

CERTIFICATION OF REVIEW BY THE BUCKS COUNTY PLANNING COMMISSION

BCPC # \_\_\_\_\_  
PROCESSED AND REVIEWED. REPORT PREPARED BY THE BUCKS COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE.  
CERTIFIED THIS DATE \_\_\_\_\_

EXECUTIVE DIRECTOR, BUCKS COUNTY PLANNING COMMISSION

CERTIFICATION FOR RECORDING  
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS, BUCKS COUNTY, PENNSYLVANIA IN PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_



**EXISTING LEGEND:**

	PROPERTY LINE		NAIL FOUND (FNL)		POWER POLE (PWP)
	EXISTING ADJACENT PROPERTY LINE		CONCRETE MONUMENT FOUND (FCM)		SIGN
	FORMER PROPERTY LINE (TO BE ELIMINATED)		MAG NAIL FOUND (FMN)		TREE, DECIDUOUS
	EXISTING INDEX CONTOUR		STONE FOUND (FST)		TREE, CONIFER (800 SIZE TYPE)
	EXISTING INTERMEDIATE CONTOUR		ANGLE IRON (FAI)		EXISTING BUILDING
	CHAIN LINK FENCE		REBAR IRON PIN SET		
	EXISTING TREE LINE		IRON PIN TO BE SET		
	EXISTING EDGE OF PAVEMENT		WATER BOX (WATER VALVE)		
	OH-W		UTILITY CABINET		
	EXISTING ROAD RIGHT-OF-WAY		LIGHT STANDARD		
	EXISTING BACK OF CURB		HANDICAP PARKING SYMBOL		
	EXISTING FACE OF CURB		SANITARY MANHOLE		
	IRON PIN FOUND		CURB INLET		
	IRON PIPE FOUND (FIP)		CATCH BASIN		
	REBAR FOUND (FRB)		MAILBOX		

- REFERENCE**
- NOTE 1
  - NOTE 2
  - NOTE 3

REGISTERED SURVEYOR CERTIFICATION  
I, BEING A REGISTERED SURVEYOR OF THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS A SURVEY MADE UNDER MY DIRECT SUPERVISION, EXISTING MONUMENTATION SHOWN HEREON EXISTS AS LOCATED, AND THE DIMENSIONAL AND GEODETIC DETAILS ARE CORRECT.

SIGNATURE: \_\_\_\_\_  
PRINTED NAME: TODD M. BARCOCK  
STATE OF: PENNSYLVANIA  
REGISTRATION NO.: SU 38737 E  
01/09/2023 1:47:18 PM

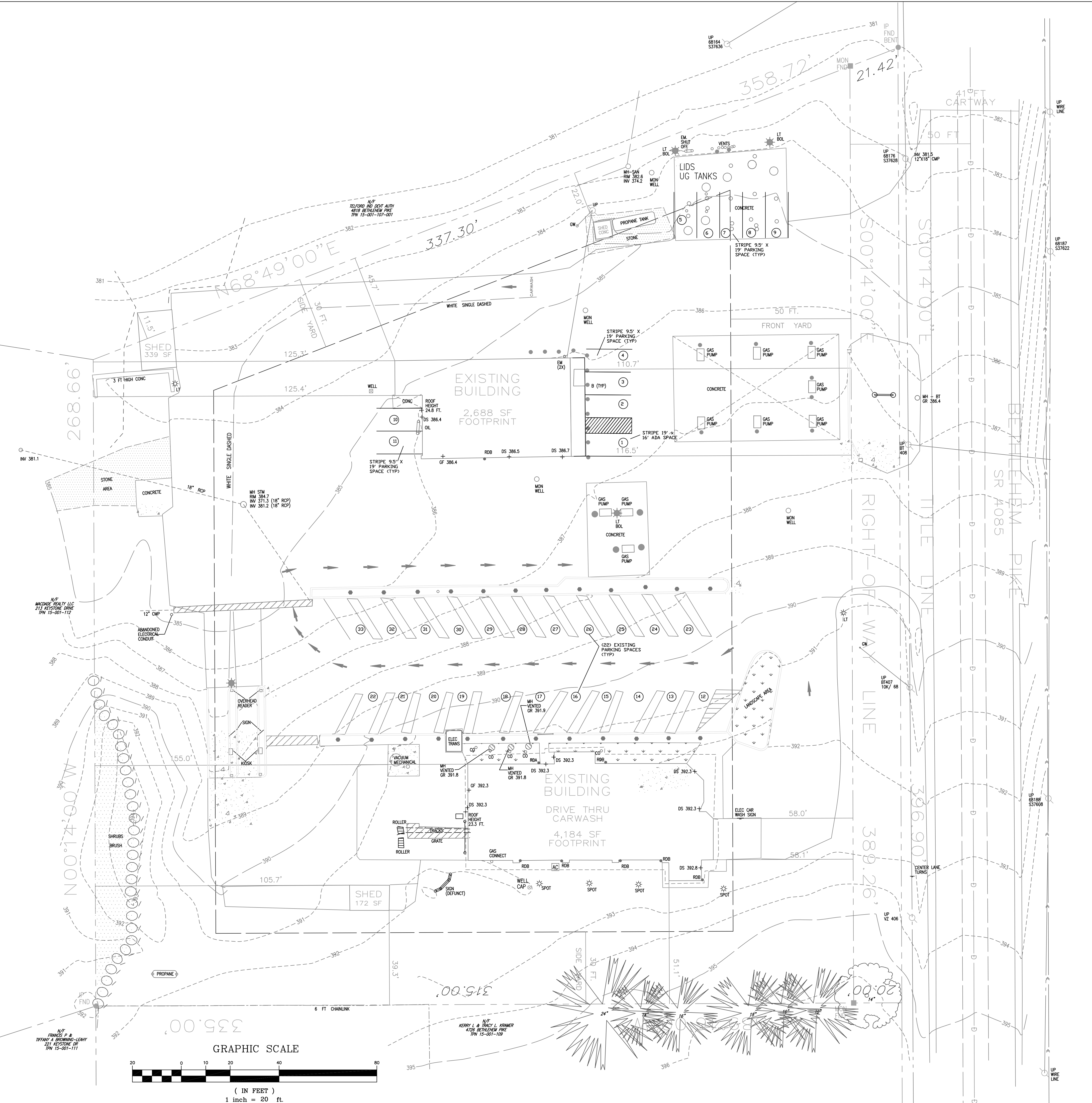
**Draft Print**

**C&E**  
Civil & Environmental Consultants, Inc.  
227 South Main Street · Athens, PA 18810  
Ph: 570.866.2007 · 877.389.1852 · Fax: 570.866.2011  
www.ceclnc.com

**WASTE MANAGEMENT**  
**300 PROGRESS DR, TELFORD PA**  
**&**  
**4622 BETHLEHEM PIKE, TELFORD PA**  
**LOT CONSOLIDATION**

DATE: DECEMBER 12, 2022  
DRAWN BY: DMN  
CHECKED BY: BRF  
APPROVED BY: TMB  
DATE: DECEMBER 12, 2022  
DWG SCALE: 1"=100'  
PROJECT NO.: 326-584  
DRAWING NO.: 1  
SHEET 1 OF 1





ZONING DATA TABLE, ZONE LIGHT INDUSTRIAL LI	REQUIREMENT	EXISTING	PROPOSED COMMENT
SERVICE STATION AND CAR WASH IS A PRE-EXISTING PERMITTED USE RETAIL STORE IS A NON-PERMITTED USE.			
<b>LI ORDINANCE</b>			
MINIMUM LOT AREA (SF)	87120	103623	103623 COMPLIES
MINIMUM LOT AREA (SF) TO ROW	87120	103623	103623 COMPLIES
MINIMUM LOT AREA (SF) TO TITLE LINE	87120	114487	114487 COMPLIES
MINIMUM FRONT YARD (FT)	50	116.5	116.5 COMPLIES TO BUILDING
MINIMUM SIDE YARD (FT)	30	45.7	45.7 COMPLIES TO BUILDING
MINIMUM REAR YARD (FT)	50	125.4	125.4 COMPLIES TO BUILDING
MINIMUM LOT WIDTH (FT)	200	370	370 COMPLIES
MAXIMUM IMPERVIOUS SURFACE RATIO (%)	60	68	68 EXISTING CONDITION & EXISTING VARIANCE
MAXIMUM HEIGHT (FT)	35	25	COMPLIES
E10 GASOLINE SERVICE STATION, GASOLINE SERVICE STATION, WHERE GASOLINE, OIL, GREASE, BATTERIES, TIRES AND AUTOMOBILE ACCESSORIES ARE SOLD AT RETAIL INCLUDING MINI-MARTS INCIDENTAL TO THE SERVICE STATION USE, BUT NOT INCLUDING MAJOR MECHANICAL AND BODY WORK, PAINTING, SPRAYING OR WELDING OR STORAGE OF AUTOMOBILES NOT IN OPERATING CONDITION, PROVIDED:			
(A) MINIMUM LOT WIDTH OF NOT LESS THAN 250 FEET SHALL BE PROVIDED ALONG EACH STREET ON WHICH THE LOT ABUTS.	250	370	370 COMPLIES
(B) ALL ACTIVITIES EXCEPT AIR AND THOSE TO BE PERFORMED AT THE FUEL PUMPS SHALL BE PERFORMED WITHIN A COMPLETELY ENCLOSED BUILDING.			COMPLIES
(C) NO BUILDING, STRUCTURE, FUEL PUMP OR FUEL STORAGE TANK SHALL BE LESS THAN 100 FEET FROM ANY RESIDENTIAL ZONE OR RESIDENTIAL USE.			COMPLIES
(D) FUEL PUMPS SHALL BE AT LEAST 25 FEET FROM ANY ULTIMATE STREET RIGHT-OF-WAY. (FT)	25	16	16 EXISTING CONDITION & EXISTING VARIANCE
(E) ALL AUTOMOBILE PARTS AND SIMILAR ARTICLES SHALL BE STORED WITHIN AN ENCLOSED BUILDING.			COMPLIES
(F) ALL REFUSE SHALL BE STORED WITHIN AN ENCLOSED BUILDING OR ENCLOSED AREA.			COMPLIES
(G) PAINT-SPRAYING OR BODY AND FENDER WORK SHALL NOT BE PERMITTED.			NOT APPLICABLE
(H) LUBRICATION, OIL CHANGES, TIRE CHANGES, AND MINOR REPAIRS PERMITTED ENTIRELY WITHIN AN ENCLOSED BUILDING.			NOT APPLICABLE
(I) VEHICLES SHALL NOT BE STORED OUTDOORS WHILE AWAITING REPAIRS FOR MORE THAN FIVE DAYS.			COMPLIES
(J) JUNK VEHICLES SHALL NOT BE STORED IN THE OPEN AT ANY TIME. BUFFER YARDS AND SCREENING SHALL BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH § 160-33, BUFFER YARDS, OF THIS CHAPTER.			NO JUNK VEHICLES ON SITE
(K) ACCESS REGULATIONS:			
[1] THERE SHALL BE NO MORE THAN TWO ACCESS POINTS ALONG ANY FRONTAGE AND THEY SHALL BE AT LEAST 40 FEET APART AND NO DRIVEWAY SHALL BE CLOSER TO A SIDE PROPERTY LINE THAN 10 FEET.			COMPLIES
[2] EACH DRIVEWAY SHALL BE NOT MORE THAN 30 FEET IN WIDTH MEASURED AT RIGHT ANGLES TO THE CENTER LINE OF THE DRIVEWAY, NOT INCLUDING PERMISSIBLE CURB RETURN RADIUS. THE ENTIRE FLARE OF ANY RETURN RADIUS SHALL FALL WITHIN THE RIGHT-OF-WAY.			57 EXISTING CONDITION & EXISTING VARIANCE
[3] ON ALL CORNER PROPERTIES THERE SHALL BE A MINIMUM DISTANCE OF 50 FEET BETWEEN ANY ENTRANCE OR EXIT DRIVE AND THE RIGHT-OF-WAY LINE OR PROPOSED RIGHT-OF-WAY LINE OF THE STREET WHICH PARALLELS SAID ACCESS DRIVE.			NOT APPLICABLE
[4] IN ALL CASES WHERE THERE IS AN EXISTING CURB AND GUTTER OR SIDEWALK ON THE STREET, THE APPLICANT FOR A PERMIT SHALL PROVIDE A SAFETY ISLAND ALONG THE ENTIRE FRONTAGE OF THE PROPERTY, EXCEPT FOR THE PERMITTED DRIVEWAYS, ON THE TWO ENDS AND STREET SIDE OF EACH ISLAND SHALL BE CONSTRUCTED ON A CONCRETE CURB. THE HEIGHT, LOCATION AND STRUCTURAL SPECIFICATION OF WHICH SHALL BE APPROVED BY THE TOWNSHIP ENGINEER. MAXIMUM AND MINIMUM CURB RETURN RADIUS PERMITTED AND MINIMUM DRIVEWAY APPROACH ANGLES TO THE CENTER LINE OF THE STREET ARE REQUIRED.			EXISTING CONDITION
[5] WHERE THERE IS NO EXISTING CURB AND GUTTER OR SIDEWALK, THE APPLICANT MAY BE REQUIRED TO INSTALL SUCH SAFETY ISLAND AND CURB.			EXISTING CONDITION
(L) PARKING: ONE OFF-STREET PARKING SPACE FOR EVERY 300 SQUARE FEET OF GROSS FLOOR AREA, OR TWO OFF-STREET PARKING SPACES FOR EACH SERVICE BAY, WHICHEVER IS LARGER, PLUS ONE SPACE FOR EACH EMPLOYEE. OFF-STREET PARKING SPACES ARE NOT TO BE A PART OF, NOR INTERFERE WITH THE ACCESS WAYS TO AND FROM THE PUMPS.	11	0	11 2866 SF / 1 SPACE PER 300 SF + 2 FOR EMPLOYEES = 11
E12 AUTOMOBILE REPAIR OR CAR-WASHING FACILITY, AUTOMOBILE REPAIR GARAGE OR CAR-WASHING FACILITY, INCLUDING PAINT SPRAYING AND BODY AND FENDER WORK OR CAR WASHING FACILITY, PROVIDED THAT ALL REPAIR AND PAINT WORK IS PERFORMED WITHIN A FULLY ENCLOSED BUILDING. ALL AUTOMOBILE PARTS, REFUSE, AND SIMILAR ARTICLES SHALL BE STORED WITHIN AN ENCLOSED BUILDING OR ENCLOSED AREA.			
(A) ALL SUCH USES SHALL RECYCLE THEIR LIQUID WASTES ACCORDING TO BEST MANAGEMENT PRACTICES AVAILABLE IN THE INDUSTRY.			COMPLIES
(B) THE BULK, SCALE AND CHARACTER OF THE BUILDINGS SHALL BE COMPATIBLE WITH THE TRADITIONAL BUILDINGS THAT ARE CHARACTERISTIC OF THE RURAL AND HISTORIC CHARACTER OF THE COMMUNITY FOR THE DISTRICT.			COMPLIES
(C) PARKING: ONE OFF-STREET PARKING SPACE FOR EACH 100 SQUARE FEET OF GROSS FLOOR AREA, PLUS ONE ADDITIONAL SPACE FOR EACH EMPLOYEE.	44	22	22 EXISTING CONDITION AND EXISTING VARIANCE THE CAR WASH BUILDING IS 4184 SF. 4184 SF / 1 SPACE PER 100 SF = 42 SPACES PLUS 2 FOR EMPLOYEES = 44 TOTAL. NOTE THAT ONE EIGHTH OF BUILDING IS USED FOR HEATING AND EQUIPMENT. SO UNDER DEFINITIONS THAT SF SHOULD NOT ENTER CALCULATION. ALSO THREE EIGHTHS OF THE BUILDING IS AN OFFICE FOR THE BUSINESS. THE CAR WASH HALF OF BUILDING IS 2082 SF / 100 = 20.82 SPACES PLUS 2 EMPLOYEES. 3/8 OF THE BUILDING REMAINING FOR OFFICE IS 1569 SF. 1569 SF / 200 = 7.8 SPACES. ALL CALCULATION EQUALS 28+2+8=38
E1 RETAIL STORE, RETAIL SHOP, CONVENIENCE STORE, OR STORE SELLING APPAREL, BOOKS, CONNECTIONS, DRESS, DRY GOODS, FLOWERS, FOODSTUFFS, FURNITURE, GIFTS, ALCOHOLIC BEVERAGES, HARDWARE, TOYS, HOUSEHOLD APPLIANCES, JEWELRY, CARDS, NOVELTIES, HOBBY AND ART SUPPLIES, MUSIC, LUGGAGE, SPORTING GOODS, PETS, FLOOR COVERINGS, FABRICS, GARDEN SUPPLIES AND PLANTS, PROVIDED ALL PRODUCTS PRODUCED ON THE PREMISES ARE SOLD ON THE PREMISES AT RETAIL TO THE PUBLIC. ALSO INCLUDED WITHIN THIS USE SHALL BE THE SALE OF SOFT DRINKS AND BEER. HOWEVER, NOT INCLUDED WITHIN THIS USE IS THE OVER-THE-COUNTER SALE OF ALCOHOLIC BEVERAGES IN TAVERNS OR BARS, BUILDINGS IN EXCESS OF 10,000 SQUARE FEET OF FLOOR AREA, VARIETY STORES, DISCOUNT STORES, SUPERMARKETS, DEPARTMENT, OR CONTRACTING STORES.			
(A) THE BULK, SCALE AND CHARACTER OF THE BUILDINGS SHALL BE COMPATIBLE WITH THE TRADITIONAL BUILDING THAT IS CHARACTERISTIC OF THE RURAL AND HISTORIC CHARACTER OF THE COMMUNITY FOR THE DISTRICT.			COMPLIES
(B) PARKING: ONE OFF-STREET PARKING SPACE FOR EACH 100 SQUARE FEET OF GROSS AREA OR INTENDED TO BE USED FOR SERVICING CUSTOMERS, PLUS ONE ADDITIONAL SPACE FOR EVERY TWO EMPLOYEES.	19	0	0 1779 SF CUSTOMER FLOOR AREA / 100 = 17.79 NOTE: THERE ARE 12 SPACES FOR CARS WHILE FUELING THAT CAN BE UTILIZED FOR SHORT TERM PARKING WHILE CUSTOMERS MAKE MART CHARGES
TOTAL PARKING ALL USES	74	22	33 EXISTING CONDITION AND VARIANCE

OWNER OF THE PROPERTY:	AREA (SF)	AREA (ACRES)
MACOADE REALTY LLC	114487	2.5594
PO BOX 2218	7864	0.1805
PRINCETON NJ 08543	103623	2.3786
DEED BOOK VOLUME:		
DEED BOOK PAGE:		
IMPERVIOUS SURFACE RATIO	7145	
BUILDINGS	63686	
DRIVEWAYS AND PARKING	78913	
TOTAL IMPERVIOUS SURFACE	103623	
DIVIDE BY BASE AREA	0.683	
EQUALS IMPERVIOUS SURFACE RATIO	0.6	
MAXIMUM ALLOWABLE IMPERVIOUS SURFACE RATIO		

**SCOPE OF WORK:**

- NO SITE DISTURBANCE IS PROPOSED TO THE EXISTING SITE.
- ONLY MODIFICATION TO THE PROPERTY WILL BE INTERIOR AND EXTERIOR BUILDING RENOVATIONS SUCH THAT THERE WILL ONLY BE A MINI-MART WITHIN THE EXISTING NORTHERLY BUILDING.
- THE MINI-MART IS INCIDENTAL TO THE SERVICE STATION USE. VEHICLE REPAIRS WILL CEASE AT THE PROPERTY.
- NO NEW IMPERVIOUS AND BUILDING COVERAGE TO BE ADDED TO THE EXISTING SITE.
- STRIPING TO BE ADDED TO DELINEATE PARKING AROUND THE NORTHERLY BUILDING AND THE PETROLEUM DISPENSING AREA.
- EXISTING PUBLIC SANITARY SEWER AND PUBLIC WATER TO REMAIN.
- THE PLAN REFERENCES A SURVEY BY MCNEILL LAND SURVEYING LLC

DATE	REVISION

**BUILDING RENOVATIONS TO EXISTING SITE**

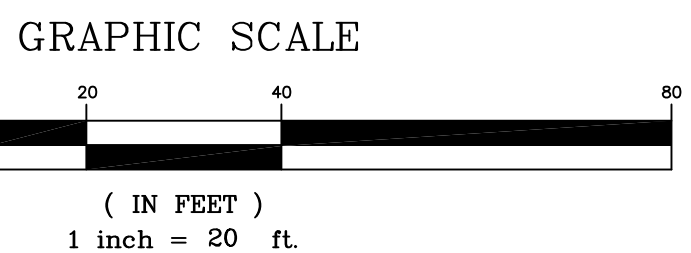
4802 BETHLEHEM PIKE  
HILLTOWN TOWNSHIP, BUCKS COUNTY, TAX PARCEL 15-001-108

**DSH ENGINEERING, INC**  
ENGINEERS, PLANNERS

121 E 19TH STREET  
SHIP BOTTOM NJ 08008-4461  
(856) 905-5112

David S. Hodulik Date  
Pennsylvania Professional Engineer License No. PE050091E  
New Jersey Professional Engineer License No. 24GE03520500

SCALE=1"=20' CHECKED BY DSH DRWN. BY MGH 7/29/24 SHEET 1 OF 1





**OWNERS CERTIFICATION OF INTENT**  
 WASTE MANAGEMENT OF PENNSYLVANIA, INC., BY ITS PRESIDENT AND SECRETARY, HAVE LAID OUT UPON OUR LAND SITUATED IN THE TOWNSHIP OF HILLTOWN, COUNTY OF BUCKS, COMMONWEALTH OF PENNSYLVANIA, LOTS AND STREETS ACCORDING TO THE ACCOMPANYING PLAN WHICH IS INTENDED TO BE FORTHWITH RECORDED.

WITNESS OUR HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

REPRESENTATIVE \_\_\_\_\_

REPRESENTATIVE \_\_\_\_\_

COMMONWEALTH OF PENNSYLVANIA  
 COUNTY OF BUCKS  
 ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ BEFORE ME THE  
 SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN \_\_\_\_\_ AND  
 PERSONALLY APPEARED \_\_\_\_\_ WHO ACKNOWLEDGED THEMSELVES TO BE

REPRESENTATIVES OF WASTE MANAGEMENT OF PENNSYLVANIA, INC., A CORPORATION, AND THAT AS SUCH PRESIDENT AND SECRETARY, BEING AUTHORIZED TO DO SO, THEY EXECUTED THE FOREGOING PLAN BY SIGNING THAT THE SAID CORPORATION IS THE REGISTERED OWNER OF THE DESIGNATED LAND, THAT ALL NECESSARY APPROVALS OF THE PLAN HAVE BEEN OBTAINED AND IS ENDORSED THEREON, AND THAT THEY DESIRE THAT THE FOREGOING PLAN BE RECORDED ACCORDING TO LAW.

WITNESS MY HAND AND NOTARIAL SEAL, THE DAY AND YEAR AFORESAID.

(SEAL)

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

APPROVAL OF THE BOARD OF SUPERVISORS OF HILLTOWN TOWNSHIP  
 APPROVED BY THE BOARD OF SUPERVISORS OF THE TOWNSHIP OF HILLTOWN THIS  
 THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

CHAIRPERSON \_\_\_\_\_

VICE-CHAIRPERSON \_\_\_\_\_

SUPERVISOR \_\_\_\_\_

CERTIFICATION OF REVIEW BY THE BUCKS COUNTY PLANNING COMMISSION  
 BPC # \_\_\_\_\_  
 PROCESSED AND REVIEWED. REPORT PREPARED BY THE BUCKS COUNTY PLANNING COMMISSION IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE.  
 CERTIFIED THIS DATE \_\_\_\_\_

EXECUTIVE DIRECTOR, BUCKS COUNTY PLANNING COMMISSION

CERTIFICATION FOR RECORDING  
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS, BUCKS COUNTY, PENNSYLVANIA IN  
 PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_

**CIVIL PLANS FOR:**

**TELFORD HAULING FACILITY EXPANSION**

**4622 BETHLEHEM PIKE TELFORD, PA 18969**

DRAWINGS INDEX				JULY 26, 2024			
		JULY 26, 2024 (PERMIT)			JULY 26, 2024 (PERMIT)		
GENERAL	PRELIMINARY	PERMIT/BID	REVISION	SITE EROSION AND SEDIMENT POLLUTION CONTROL PLAN	PRELIMINARY	PERMIT/BID	REVISION
G1.0 COVER SHEET		●		EC1.0 EROSION & SEDIMENT CONTROL PLAN		●	
				EC2.0 EROSION & SEDIMENT CONTROL DETAILS		●	
CIVIL				EXHIBITS			
C1.0 SYMBOLS LEGEND & GENERAL NOTES		●		X1.0 SITE PHOTOMETRICS PLAN		●	
C2.0 EXISTING CONDITIONS		●		X2.0 AERIAL PHOTOGRAPHY PLAN		●	
C3.0 SITE DEMOLITION PLAN		●					
C4.0 SITE IMPROVEMENT PLAN		●		LANDSCAPING			
C5.0 SITE GRADING PLAN		●		L1.0 TREE SURVEY/REMOVALS		●	
C6.0 SITE UTILITY PLAN		●		L1.1 LANDSCAPE		●	
C6.1 SITE UTILITY PROFILES		●		L1.2 LANDSCAPE NOTES & DETAILS		●	
C7.0 GENERAL DETAILS		●					
C8.0 STORM SEWER DETAILS		●					
C8.1 STORM SEWER DETAILS		●					
C9.0 UTILITY DETAILS		●					

**PROJECT CONTACTS:**

**CIVIL ENGINEER:**  
 Diversified Engineering Inc.  
 CONSULTING ENGINEERS & SURVEYORS  
 CURT HANSTINE, P.E.  
 175 RAY AVE NE  
 NEW PHILADELPHIA, OH 44663  
 PHONE: (330) 364-1631  
 EMAIL: chanstine@div-eng.com

**OWNER:**  
 WASTE MANAGEMENT OF PENNSYLVANIA, INC.  
 MAX DICKMAN  
 720 BUTTERFIELD ROAD  
 LOMBARD, IL 60148  
 PHONE: (630) 572-6524  
 EMAIL: mdickman@wm.com

**SITE AND ZONING INFORMATION:**

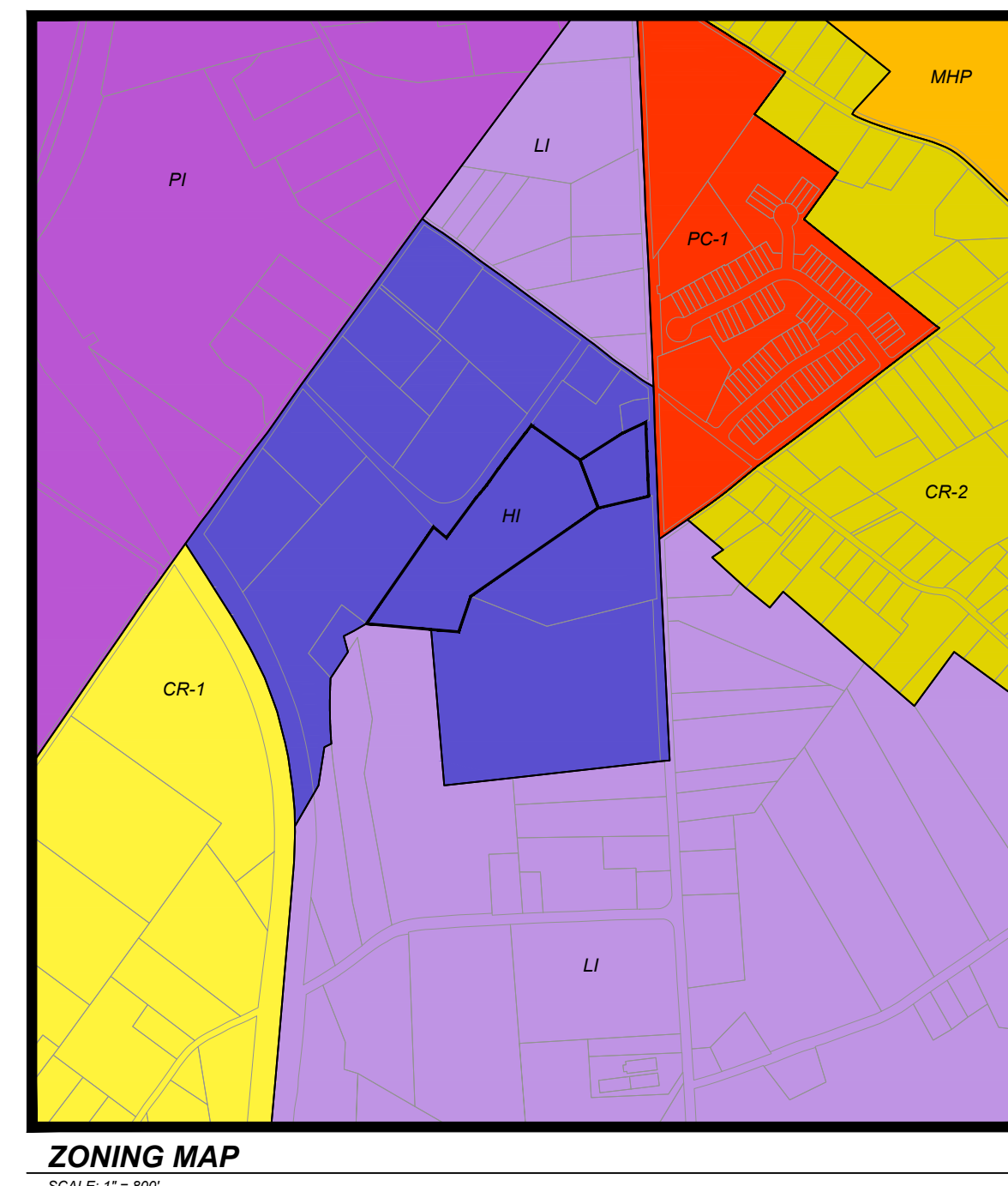
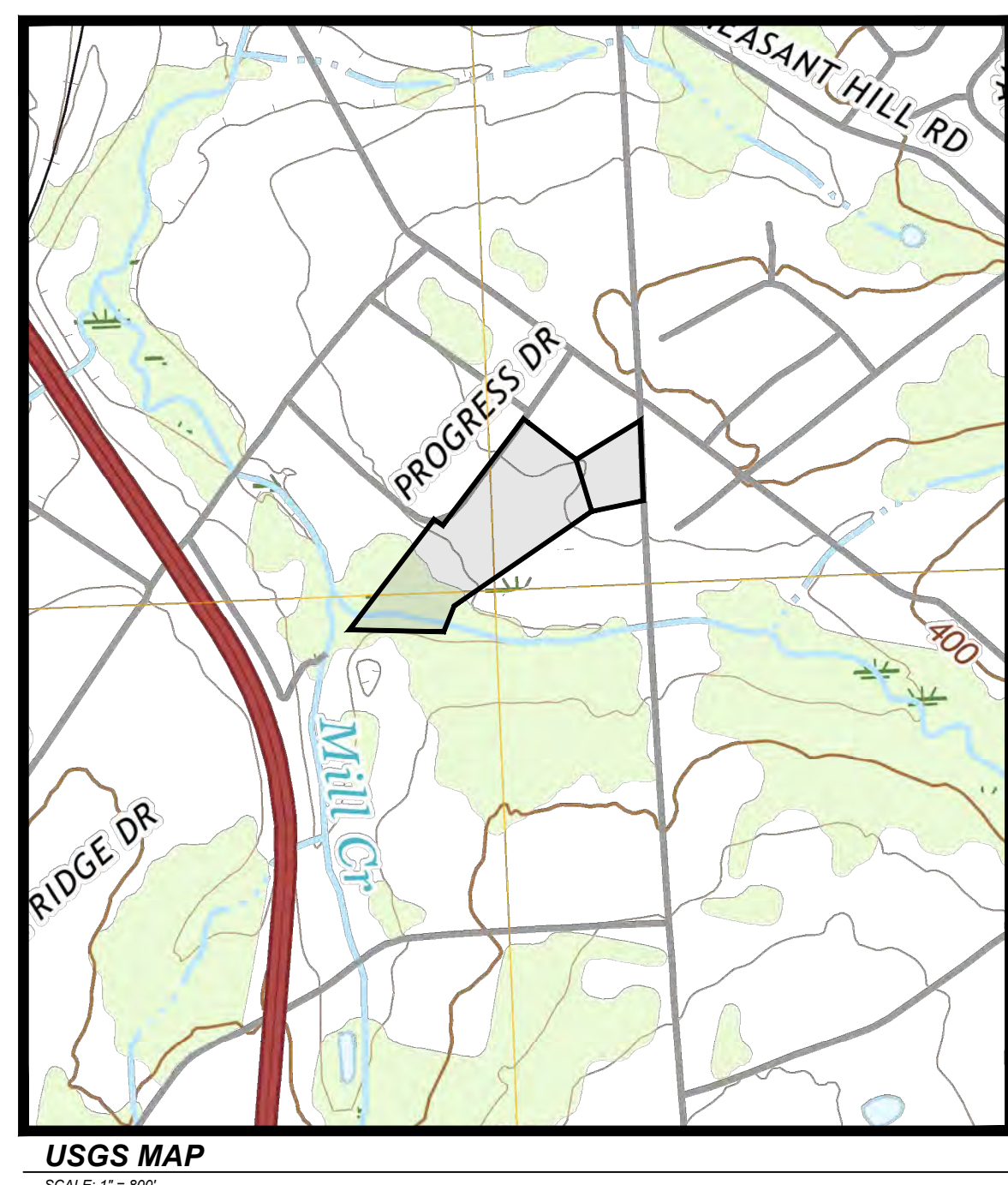
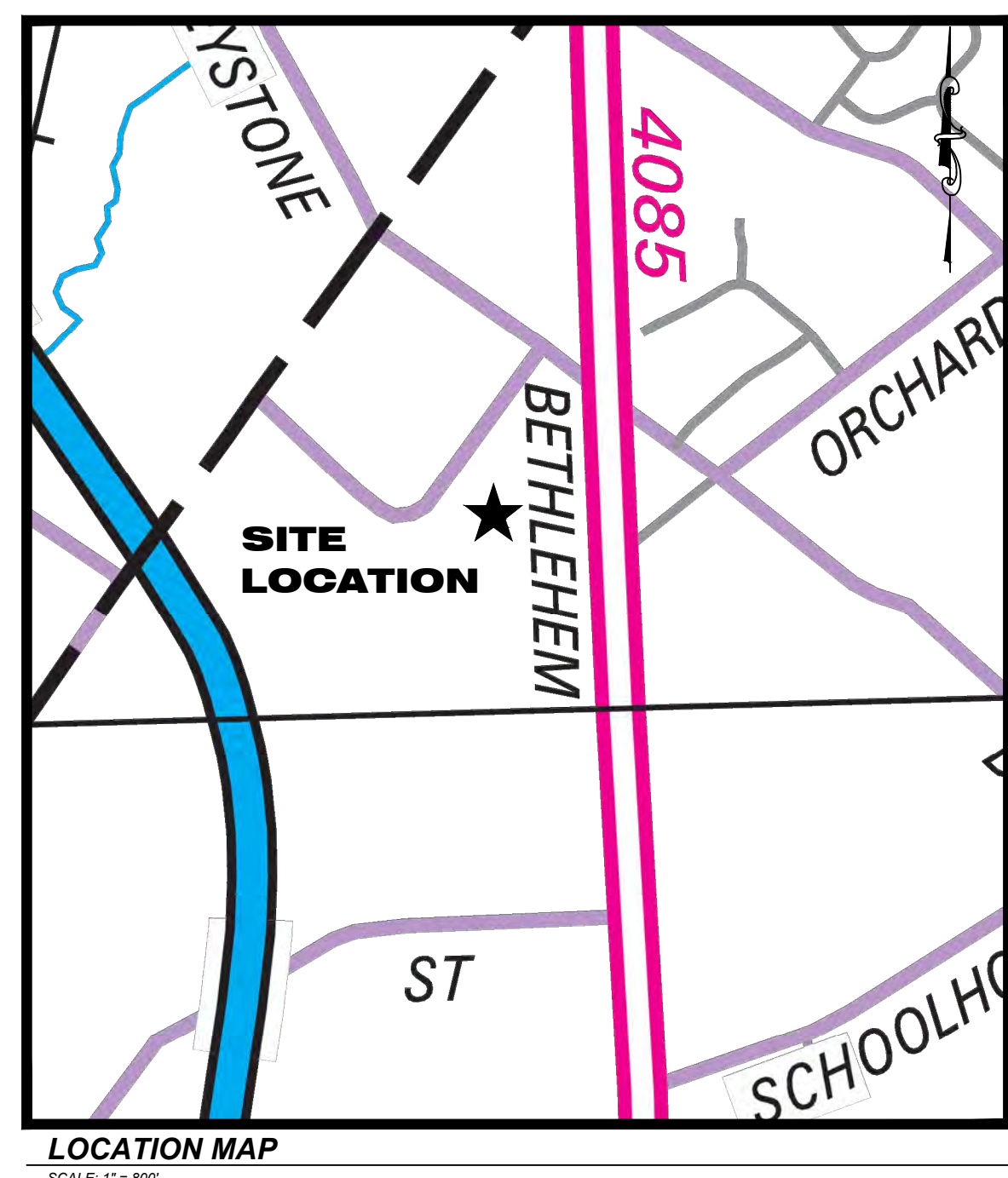
**PARCEL INFORMATION**  
 PARCEL NUMBER: 15-001-001  
 DEED AREA: 11.22 AC  
 CURRENT LAND USE CODE: 3325  
 PROPOSED LAND USE CODE: 3325 (NO CHANGE)  
 CURRENT ZONING: HEAVY INDUSTRIAL

**EXPANSION PARCEL**  
 PARCEL NUMBER: 15-001-007-001  
 DEED AREA: 2.20 AC  
 CURRENT LAND USE CODE: 1001  
 PROPOSED LAND USE CODE: 3325 (H9)  
 CURRENT ZONING: HEAVY INDUSTRIAL

**APPLICABLE ZONING CONDITIONS**  
 1995 ZHB SPECIAL EXCEPTION

**FEMA**  
 FLOOD MAP PANEL: 42017C0258J  
 EFFECTIVE DATE: 3/18/2015

**WETLAND DELINEATION**  
 A WETLAND DELINEATION WAS PERFORMED BY CIVIL ENVIRONMENTAL CONSULTANTS INC. (CEC) AND THEIR REPORT DATED AUGUST 2021. WETLAND AND FEATURE LOCATIONS ARE INCLUDED IN THESE CIVIL PLANS. THESE PLANS HAVE BEEN PREPARED SUCH THAT MINIMAL WETLAND FEATURES SHALL BE DISTURBED AS A RESULT OF PROPOSED CONSTRUCTION ACTIVITY. PLEASE CONTACT DIVERSIFIED ENGINEERING, INC. FOR COPIES OF THE WETLAND DELINEATION REPORT.



- LEGEND:**
- CR-1 - Country Residential - Hilltown Township
  - CR-2 - Country Residential - Hilltown Township
  - HI - Heavy Industrial - Hilltown Township
  - LI - Light Industrial - Hilltown Township
  - MHP - Mobile Home Park - Hilltown Township
  - PC-1 - Planned Commercial - Hilltown Township
  - PI - Planned Industrial - West Rockhill Township

**CALL BEFORE YOU DIG!**  
 PENNSYLVANIA LAW REQUIRES EXCAVATORS TO NOTIFY THE PROTECTION SERVICE AT LEAST THREE (3) BUSINESS DAYS BUT NOT MORE THAN TEN (10) BUSINESS DAYS PRIOR TO EXCAVATION

**Pennsylvania One Call Notification Center**  
 www.pa1call.org  
 811 or 1-800-242-1776

**CURTIS W. HANSTINE**  
 REGISTERED PROFESSIONAL ENGINEER  
 PE095940

ISSUED FOR PERMIT  
 07/26/2024

**Diversified Engineering Inc.**  
 CONSULTING ENGINEERS & SURVEYORS  
 175 RAY AVENUE NE  
 NEW PHILADELPHIA, OH 44663  
 Phone: (330) 364-1631  
 Fax: (330) 364-4031  
 Web: www.div-eng.com

**PROJECT:** FACILITY EXPANSION  
**4622 BETHLEHEM PIKE, TELFORD, PA 18969**

**SHEET TITLE:** COVER SHEET

**SHEET NO:** 01 OF 19  
**G1.0**

**JOB NO:** ENG-1857



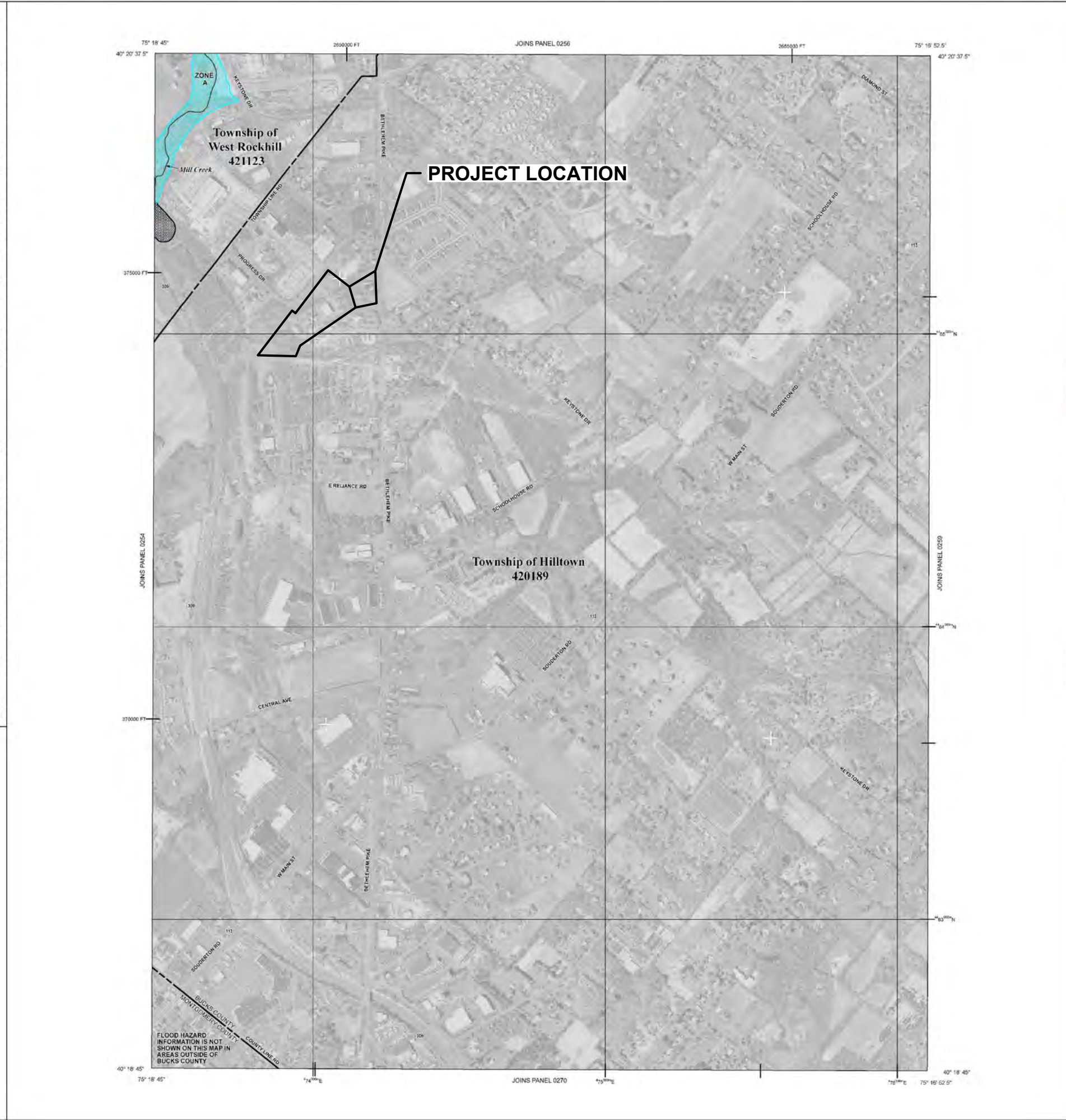
**NOTES TO USERS**

This map is for use in determining the National Flood Insurance Program (NFIP) Special Flood Hazard Areas (SFHAs) for the project area. The National Flood Insurance Program (NFIP) is a federal program that provides flood insurance to property owners in participating communities. The NFIP is administered by the Federal Emergency Management Agency (FEMA).

To obtain more detailed information on areas where Base Flood Elevations (BFEs) are shown, please refer to the National Flood Insurance Program (NFIP) Flood Insurance Study (FIS) for the project area. The FIS is a detailed study that provides information on the location, extent, and depth of flood hazards. The FIS is available for purchase from the National Flood Insurance Program (NFIP) or from the local community's flood insurance agent.

Base Flood Elevations (BFEs) shown on this map are based on the National Flood Insurance Program (NFIP) Flood Insurance Study (FIS) for the project area. The FIS is a detailed study that provides information on the location, extent, and depth of flood hazards. The FIS is available for purchase from the National Flood Insurance Program (NFIP) or from the local community's flood insurance agent.

Other notes regarding map accuracy, scale, and projection are provided in the map's metadata.



- EXISTING LINWORK**
- Guardrail
  - Fence (As Noted)
  - Sanitary Sewer
  - Storm Sewer
  - Water Line
  - Underground Gas Pipeline
  - Underground Electric
  - Underground Lighting
  - Underground Telephone
  - Underground Cable T.V.
  - Underground Fiberoptics
  - Overhead Utilities
  - Gravel Area
  - Concrete Area
  - No Parking Area
  - Building Area
  - 1' Elevation Contour
  - 5' Elevation Contour

- STANDARD/ROADWAY**
- Iron Pin Set
  - Drill Hole or Railroad Spike Set
  - Iron Pin Found
  - Iron Pipe Found
  - Drill Hole or Railroad Spike Found
  - Stone Monument Found
  - Monument Found as Noted
  - Sign
  - Air Condition Unit
  - Monitoring Well
  - Bollard Post
  - Parking Meter
  - Air Pump
  - Bollard Light / Ground Light
  - Grease Trap
  - Ground Light
  - Mail Box
  - Basketball Hoop
  - Gate Entry Key Pad
  - Flag Pole

- EXISTING UTILITIES**
- Manhole
  - Storm Manhole
  - Curb Inlet Basin w/ Grate
  - Catch Basin
  - Storm Vault
  - Cleanout
  - Sanitary Manhole
  - Fire Hydrant
  - Post Indicator Valve
  - Water Valve
  - Water Meter
  - Water Manhole
  - Water Backflow Preventer
  - Water Vault
  - Water Curb Box
  - Water FDC
  - Water Spigot
  - Gas Meter
  - Gas Valve
  - Gas Curb Box
  - Fiberoptic Manhole
  - Cable T.V. Pedestal
  - Electric Meter
  - Electric Transformer
  - Electric Box
  - Electric Outlet
  - Electric Manhole
  - Electric Vault
  - Telephone Pedestal
  - Telephone Manhole
  - Telephone Booth
  - Telephone Vault
  - Traffic Vault
  - Signal Pull Box
  - Power Pole
  - Traffic Pole
  - Telephone Pole
  - Flag Pole
  - Light Pole
  - Guy Wire
  - Utility Vault
  - Underground Utility Marker
  - Vacuum
  - Unknown Valve

**FEMA - FIRM PANEL**  
Scale: NTS

**GENERAL PLAN NOTES:**

- All necessary preventative measures will be taken to keep damage from occurring to adjacent structures such as utilities, trees, poles, structures, and private property during the progress of this work. Any and all damages that occur due to construction activities shall be repaired or replaced by the contractor at no expense to the owner.
- All material excavated or used in the laying of the pipe will be located and stockpiled in a way not to endanger the public, the personnel on the job, or block natural drainage patterns.
- DEWATERING:**  
Contractor is responsible for any and all necessary dewatering activities for any excavation.
- ROOF DRAIN NOTE:**  
Roof drains, foundation drains, and other clean water connections to sanitary sewer system are strictly prohibited.
- NOTIFICATION:**  
Any time utilities are involved, notify One Call Center prior to excavation.
- EROSION CONTROL:**  
Contractor shall prevent any soil or erosion to enter existing/proposed storm sewer system or water courses during construction phase. Contractor shall use erosion control measures such as inlet filters and ditch check dams in accordance with D.O.T. Specifications.
- All grass areas to be disturbed shall have topsoil removed and stockpiled prior to excavation. Upon completion of construction, a 8" minimum of topsoil shall be replaced, then seeded and mulched (in accordance with D.O.T. Specifications). All disturbed areas are to be graded to have positive drainage.
- Underground utilities were plotted from records and field observations and actual locations may deviate from the plans. Contractor shall be responsible for verifying location of all underground utilities within the project area.
- Contractor shall exercise caution within and adjacent to his or her work areas so as not to damage existing facilities. Any facilities that are damaged due to the contractor's operations shall be repaired or replaced by the contractor to original or better condition at no expense to the owner.
- TRACKING OF MUD UPON PUBLIC WAYS**  
It shall be the duty of the contractor to supervise the handling of all traffic entering and leaving the work area to prevent mud or debris of any nature from being tracked onto the public and private sidewalks and streets. Any mud or debris tracked onto public and private sidewalks and streets shall be removed by the contractor.
- MATERIAL DISPOSAL**  
The contractor shall not dump any waste materials on the Owner's property without the written permission of the Owner, or another property without the written permission of the owner or lessor thereof. When such permission is granted, dumping shall be subject to regulations prescribed by the Owner.
- PROTECTION OF TREES**  
All trees within the construction area not specified for removal are to be protected by the contractor. Care shall be taken to ensure the roots are not cut. The contractor shall be responsible for replacing any damaged trees of the same size and kind as damaged. Damaged tree branches shall be properly trimmed immediately after damage.
- CONCRETE PROTECTIONS**  
The contractor shall protect the finish of all freshly placed concrete from vandalism until the concrete has taken its initial set. The contractor shall be responsible for any damage to the concrete finish caused by vandals due to his or her failure to protect the concrete.

**MAINTENANCE OF TRAFFIC:**

- Contractor shall submit a maintenance of traffic plan to Waste Management, Maintenance Supervisor and Diversified Engineering for review and approval 15 days prior to start of work.
- Work shall be completed in a manner that will limit disruption to daily facility operations.
- Contractors maintenance of traffic plan shall be in accordance with D.O.T. Specifications.
- The contractor shall furnish and maintain all necessary safeguards such as barricades, satisfactory barriers, lighting, flaggers, and such other traffic control devices as required.
- All construction traffic control signs used for the project shall conform to the current "Manual of Uniform Traffic Control Devices" and shall be provided, erected, and maintained by the contractor.

Hydrologic Soil Group—Bucks County, Pennsylvania

**Hydrologic Soil Group**

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
Bo	Bowmansville-Knauers silt loams	C/D	5.1	18.4%
ReB	Readington silt loam, 3 to 8 percent slopes	C	4.9	17.5%
UgB	Urban land-Abbottstown complex, 0 to 8 percent slopes		17.8	64.1%
<b>Totals for Area of Interest</b>			<b>27.8</b>	<b>100.0%</b>

**Description**

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

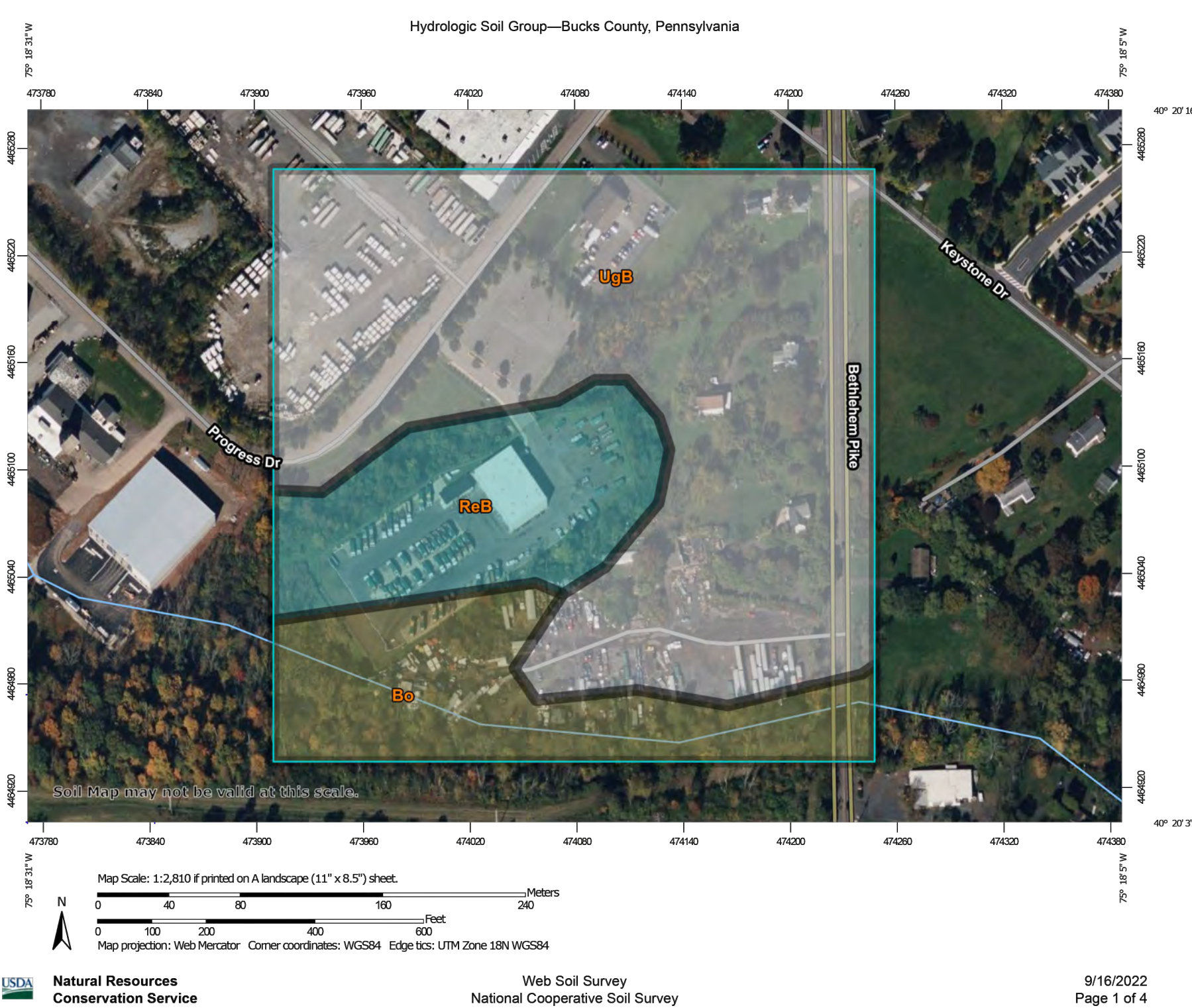
**Group A.** Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

**Group B.** Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

**Group C.** Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

**Group D.** Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.



**SOILS MAP**  
Scale: NTS

ISSUE DATE: 07/26/2024 SCALE: AS NOTED CTR INT. DATE: 07/26/2024  
 SURVEYED BY: CEC/DEI CHECKED BY: CWH/DEI  
 DRAWN BY: DEI APPROVED BY: CWH/DEI  
 REV: DATE DESCRIPTION  
 DWN BY: CES BY: CHK BY: APP BY:

**Diversified Engineering Inc.**  
 CONSULTING ENGINEERS & ARCHITECTS  
 178 BAY AVENUE, N.E.  
 NEW PHILADELPHIA, OH 44663  
 Phone: (330) 364-4313  
 Fax: (330) 364-4031  
 Web: www.dveng.com

**W.M.**  
 PROJECT: FACILITY EXPANSION  
 4622 BETHLEHEM PIKE, TELFORD, PA 18969  
 SHEET TITLE: SYMBOLS LEGEND & GENERAL NOTES

SHEET NO: 02 OF 19  
**C1.0**  
 JOB NO: ENG-1857



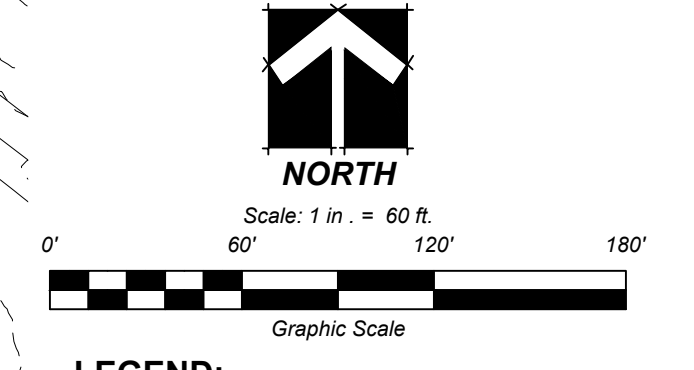
ISSUED FOR PERMIT  
07/26/2024



ENVIRONMENTAL PERFORMANCE STANDARDS				
RESOURCE	PROTECTION RATIO	LAND IN RESOURCE (AC.)	RESOURCE PROTECTION LAND (AC.)	TOTAL PROPOSED DISTURBANCE (AC.)
FLOODPLAIN	1.00	0.00	0.00	0.00
STEEP SLOPES (8-15%)	0.60	1.23	0.74	0.00
STEEP SLOPES (15-25%)	0.70	0.50	0.35	0.00
STEEP SLOPES (25% OR MORE)	0.85	0.24	0.20	0.00
WOODLANDS	0.40	4.98	1.99	0.36
WETLANDS	1.00	0.19	0.19	0.004
STREAMS OR WATERCOURSE	1.00	0.27	0.27	0.00
LAKES OR PONDS	1.00	0.00	0.00	0.00
LAKE SHORELINES	0.70	0.00	0.00	0.00
POND SHORELINES	0.80	0.00	0.00	0.00
TOTAL LAND WITH RESOURCES		7.41		
TOTAL RESOURCE PROTECTION LAND			3.74	
TOTAL PROPOSED DISTURBANCE				0.36

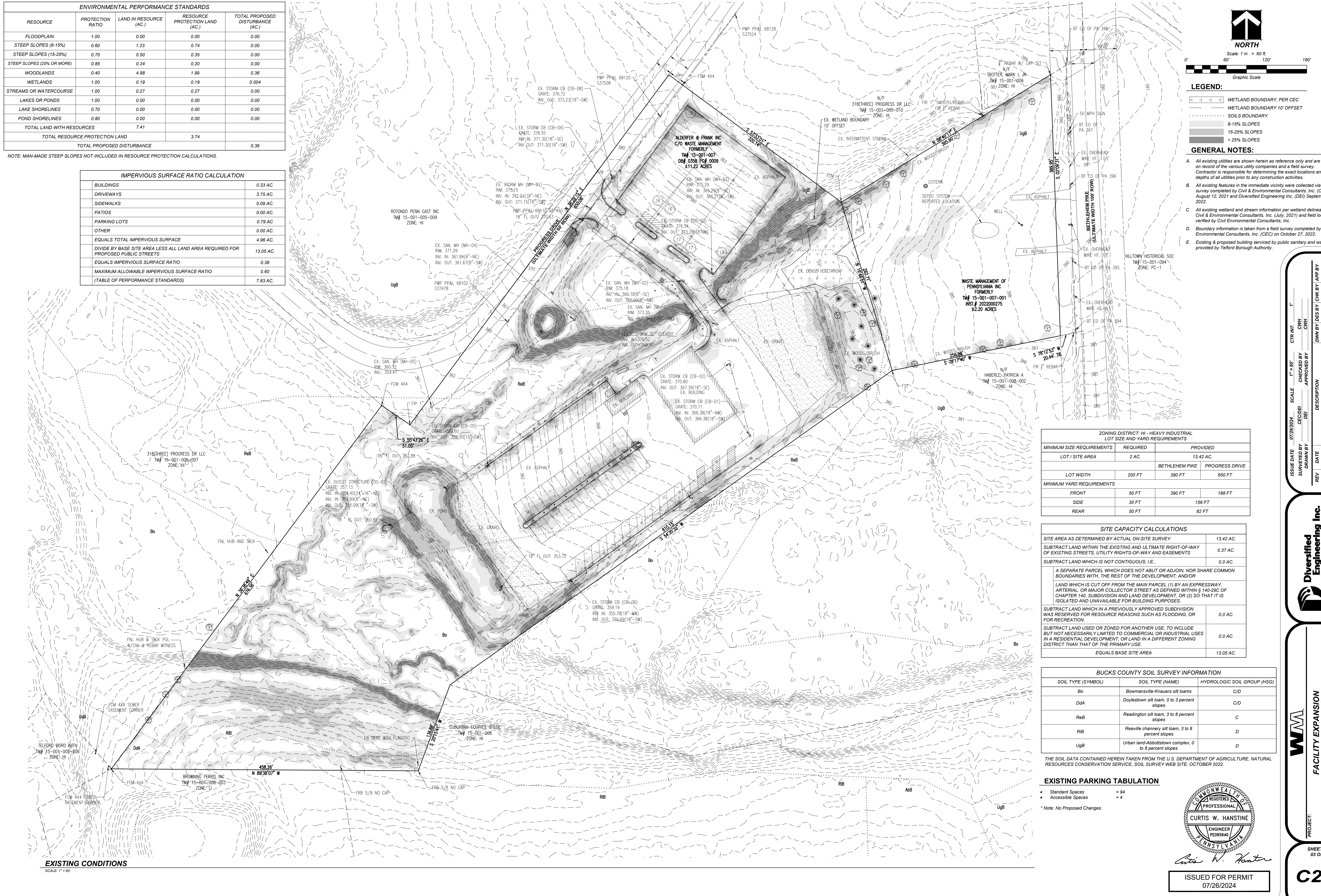
NOTE: MAN-MADE STEEP SLOPES NOT INCLUDED IN RESOURCE PROTECTION CALCULATIONS.

IMPERVIOUS SURFACE RATIO CALCULATION	
BUILDINGS	0.33 AC.
DRIVEWAYS	3.75 AC.
SIDEWALKS	0.09 AC.
PATIOS	0.00 AC.
PARKING LOTS	0.79 AC.
OTHER	0.00 AC.
EQUALS TOTAL IMPERVIOUS SURFACE	4.96 AC.
DIVIDE BY BASE SITE AREA LESS ALL LAND AREA REQUIRED FOR PROPOSED PUBLIC STREETS	13.05 AC.
EQUALS IMPERVIOUS SURFACE RATIO	0.38
MAXIMUM ALLOWABLE IMPERVIOUS SURFACE RATIO (TABLE OF PERFORMANCE STANDARDS)	0.60
	7.83 AC.



- LEGEND:**
- WETLAND BOUNDARY, PER CEC
  - WETLAND BOUNDARY 10' OFFSET
  - SOILS BOUNDARY
  - 8-15% SLOPES
  - 15-25% SLOPES
  - > 25% SLOPES

- GENERAL NOTES:**
- All existing utilities are shown herein as reference only and are based on record of the various utility companies and a field survey. Contractor is responsible for determining the exact locations and depths of all utilities prior to any construction activities.
  - All existing features in the immediate vicinity were collected via site survey completed by Civil & Environmental Consultants, Inc. (CEC) on August 12, 2021 and Diversified Engineering Inc. (DEI) September 21, 2022.
  - All existing wetland and stream information per wetland delineation by Civil & Environmental Consultants, Inc. (CEC) on October 27, 2022.
  - Boundary information is taken from a field survey completed by Civil & Environmental Consultants, Inc. (CEC) on October 27, 2022.
  - Existing & proposed building serviced by public sanitary and water provided by Telford Borough Authority.



ZONING DISTRICT: HI - HEAVY INDUSTRIAL LOT SIZE AND YARD REQUIREMENTS		
MINIMUM SIZE REQUIREMENTS	REQUIRED	PROVIDED
LOT / SITE AREA	2 AC.	13.42 AC.
	BETHLEHEM PIKE	PROGRESS DRIVE
LOT WIDTH	200 FT	390 FT
		650 FT
MINIMUM YARD REQUIREMENTS		
FRONT	50 FT	390 FT
SIDE	30 FT	156 FT
REAR	50 FT	82 FT

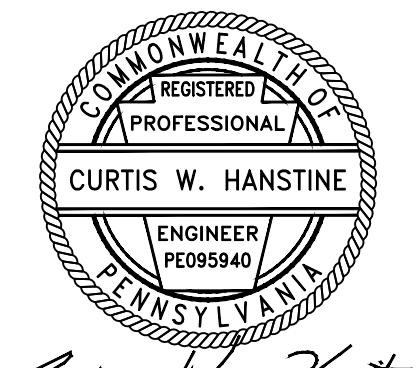
SITE CAPACITY CALCULATIONS	
SITE AREA AS DETERMINED BY ACTUAL ON-SITE SURVEY	13.42 AC.
SUBTRACT LAND WITHIN THE EXISTING AND ULTIMATE RIGHT-OF-WAY OF EXISTING STREETS, UTILITY RIGHTS-OF-WAY AND EASEMENTS	0.37 AC.
SUBTRACT LAND WHICH IS NOT CONTIGUOUS, I.E.	0.0 AC.
A SEPARATE PARCEL WHICH DOES NOT ABUT OR ADJOIN, NOR SHARE COMMON BOUNDARIES WITH, THE REST OF THE DEVELOPMENT, AND/OR LAND WHICH IS CUT OFF FROM THE MAIN PARCEL (1) BY AN EXPRESSWAY, ARTERIAL, OR MAJOR COLLECTOR STREET AS DEFINED WITHIN § 140.20C OF CHAPTER 140, SUBDIVISION AND LAND DEVELOPMENT, OR (2) SO THAT IT IS ISOLATED AND UNAVAILABLE FOR BUILDING PURPOSES	
SUBTRACT LAND WHICH IN A PREVIOUSLY APPROVED SUBDIVISION WAS RESERVED FOR RESOURCE REASONS SUCH AS FLOODING, OR FOR RECREATION	0.0 AC.
SUBTRACT LAND USED OR ZONED FOR ANOTHER USE, TO INCLUDE BUT NOT NECESSARILY LIMITED TO COMMERCIAL OR INDUSTRIAL USES IN A RESIDENTIAL DEVELOPMENT, OR LAND IN A DIFFERENT ZONING DISTRICT THAN THAT OF THE PRIMARY USE.	0.0 AC.
EQUALS BASE SITE AREA	13.05 AC.

BUCKS COUNTY SOIL SURVEY INFORMATION		
SOIL TYPE (SYMBOL)	SOIL TYPE (NAME)	HYDROLOGIC SOIL GROUP (HSG)
Bo	Bowmansville-Knauers silt loams	C/D
DdA	Doylstown silt loam, 0 to 3 percent slopes	C/D
ReB	Readington silt loam, 3 to 8 percent slopes	C
RiB	Reaville channery silt loam, 3 to 8 percent slopes	D
UgB	Urban land-Abbottstown complex, 0 to 8 percent slopes	D

THE SOIL DATA CONTAINED HEREIN TAKEN FROM THE U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, SOIL SURVEY WEB SITE, OCTOBER 2022.

EXISTING PARKING TABULATION	
Standard Spaces	= 94
Accessible Spaces	= 4

\*Note: No Proposed Changes.



ISSUED FOR PERMIT  
07/26/2024

ISSUE DATE	SCALE	CTE INT.	1"
07/26/2024	1" = 60'	CWH	
SURVEYED BY	CEC/DEI	CWH	
DRAWN BY	DEI	CWH	
APPROVED BY			
REV	DATE	DESCRIPTION	

**Diversified Engineering Inc.**  
CORPORATE OFFICE: 1376 BAY AVENUE, NE, ATLANTA, GA 30329  
PHONE: (404) 384-8833  
FAX: (404) 384-4031  
WWW.DIVERSIFIED-ENG.COM

**EXISTING CONDITIONS**

PROJECT: **FACILITY EXPANSION**  
**4622 BETHLEHEM PIKE, TELFORD, PA 18969**

SHEET TITLE: **C2.0**

SHEET NO: 03 OF 19  
JOB NO: ENG-1857

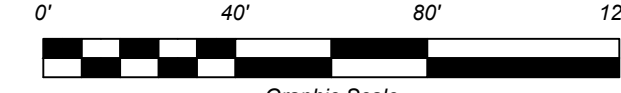
2:\Projects\1857\1857-003\1857-003-003\1857-003-003.dwg, 7/26/2024 10:58 AM





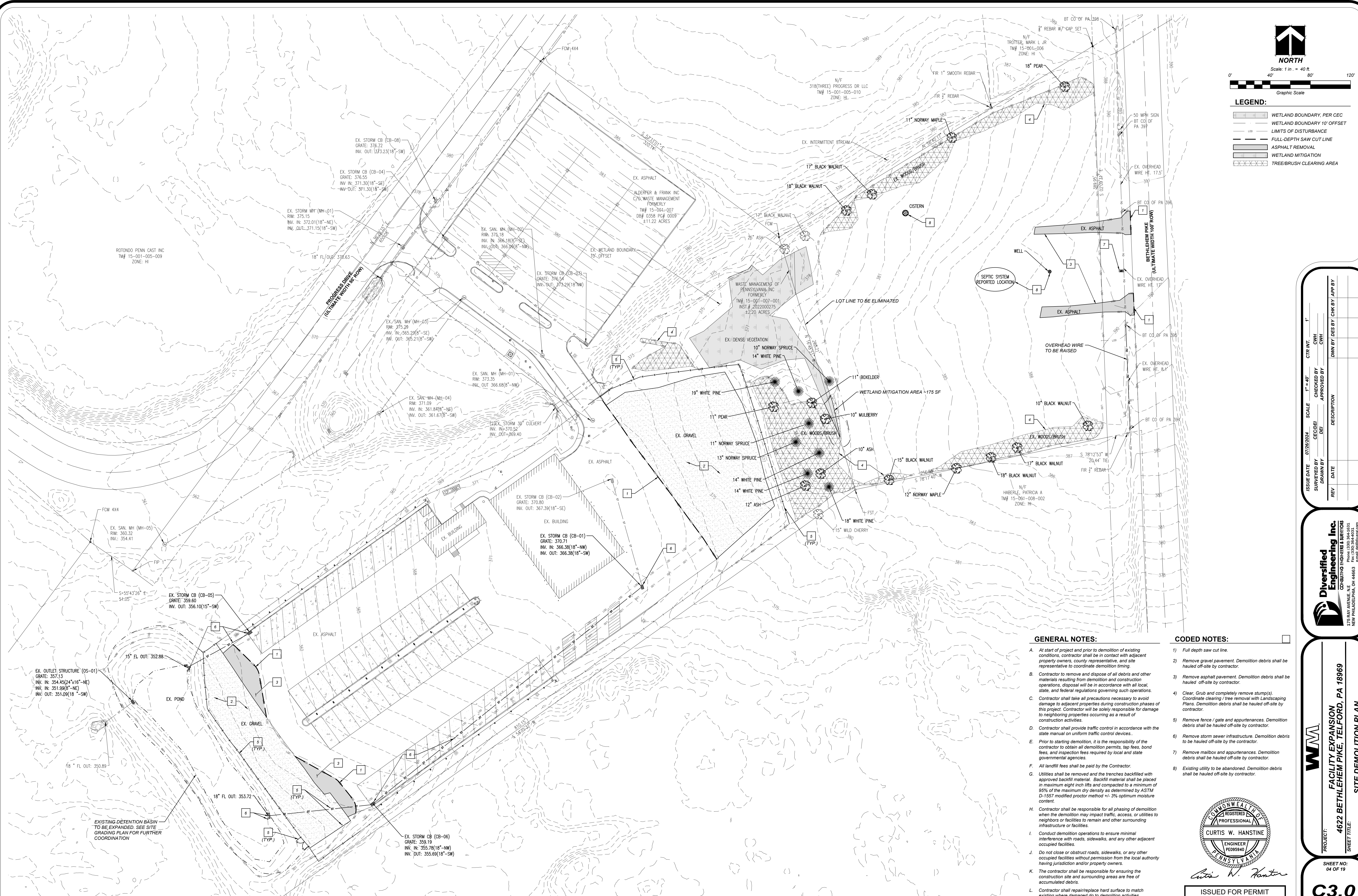
NORTH

Scale: 1 in. = 40 ft.



**LEGEND:**

[Symbol]	WETLAND BOUNDARY, PER CEC
[Symbol]	WETLAND BOUNDARY 10' OFFSET
[Symbol]	LIMITS OF DISTURBANCE
[Symbol]	FULL-DEPTH SAW CUT LINE
[Symbol]	ASPHALT REMOVAL
[Symbol]	WETLAND MITIGATION
[Symbol]	TREE/BRUSH CLEARING AREA

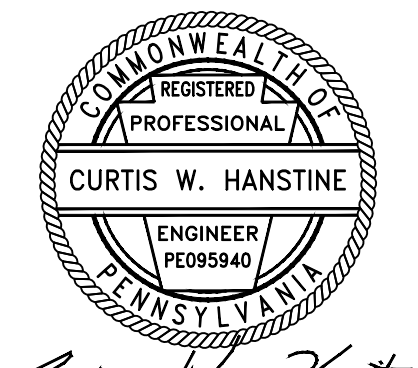


**GENERAL NOTES:**

- At start of project and prior to demolition of existing conditions, contractor shall be in contact with adjacent property owners, county representative, and site representative to coordinate demolition timing.
- Contractor to remove and dispose of all debris and other materials resulting from demolition and construction operations, disposal will be in accordance with all local, state, and federal regulations governing such operations.
- Contractor shall take all precautions necessary to avoid damage to adjacent properties during construction phases of this project. Contractor will be solely responsible for damage to neighboring properties occurring as a result of construction activities.
- Contractor shall provide traffic control in accordance with the state manual on uniform traffic control devices.
- Prior to starting demolition, it is the responsibility of the contractor to obtain all demolition permits, tap fees, bond fees, and inspection fees required by local and state governmental agencies.
- All landfill fees shall be paid by the Contractor.
- Utilities shall be removed and the trenches backfilled with approved backfill material. Backfill material shall be placed in maximum eight inch lifts and compacted to a minimum of 95% of the maximum dry density as determined by ASTM D-1557 modified proctor method +/- 3% optimum moisture content.
- Contractor shall be responsible for all phasing of demolition when the demolition may impact traffic, access, or utilities to neighbors or facilities to remain and other surrounding infrastructure or facilities.
- Conduct demolition operations to ensure minimal interference with roads, sidewalks, and any other adjacent occupied facilities.
- Do not close or obstruct roads, sidewalks, or any other occupied facilities without permission from the local authority having jurisdiction and/or property owners.
- The contractor shall be responsible for ensuring the construction site and surrounding areas are free of accumulated debris.
- Contractor shall repair/replace hard surface to match existing where damaged do to demolition activities.

**CODED NOTES:**

- Full depth saw cut line.
- Remove gravel pavement. Demolition debris shall be hauled off-site by contractor.
- Remove asphalt pavement. Demolition debris shall be hauled off-site by contractor.
- Clear, grub and completely remove stump(s). Coordinate clearing / tree removal with Landscaping Plans. Demolition debris shall be hauled off-site by contractor.
- Remove fence / gate and appurtenances. Demolition debris shall be hauled off-site by contractor.
- Remove storm sewer infrastructure. Demolition debris to be hauled off-site by the contractor.
- Remove mailbox and appurtenances. Demolition debris shall be hauled off-site by contractor.
- Existing utility to be abandoned. Demolition debris shall be hauled off-site by contractor.



Curtis W. Hanstine

ISSUED FOR PERMIT  
07/26/2024

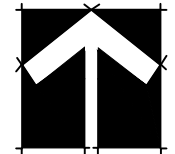
ISSUE DATE	SCALE	1" = 40'	CTR INT.	1"
07/26/2024				
SURVEYED BY	CEC/DEI		CWH	CWH
DRAWN BY	DEI			
REV	DATE		DESCRIPTION	

**Diversified Engineering Inc.**  
CORPORATE ENGINEERING & ARCHITECTURE  
1276 BAY AVENUE, NE  
NEW PHILADELPHIA, OH 44663  
Phone: (330) 364-5833  
Fax: (330) 364-4031  
Web: www.dveng.com

**WM**  
PROJECT: **FACILITY EXPANSION**  
**4622 BETHLEHEM PIKE, TELFORD, PA 18969**  
SHEET TITLE: **SITE DEMOLITION PLAN**

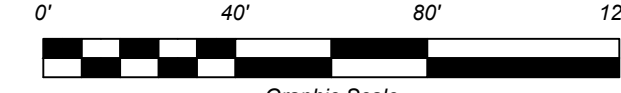
SHEET NO: 04 OF 19  
**C3.0**  
JOB NO: ENG-1857



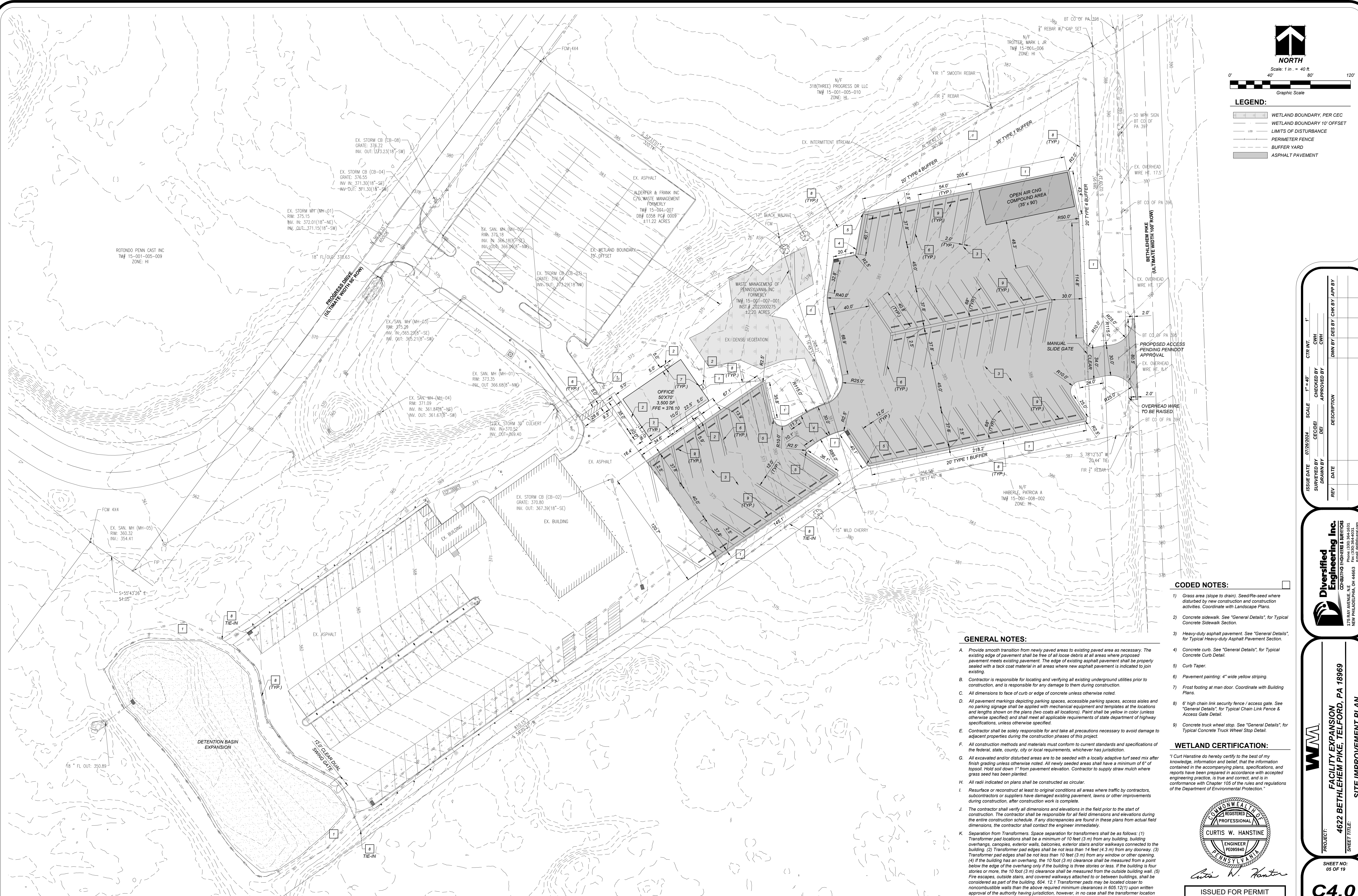


NORTH

Scale: 1" = 40'



- LEGEND:**
- WETLAND BOUNDARY, PER CEC
  - WETLAND BOUNDARY 10' OFFSET
  - LIMITS OF DISTURBANCE
  - PERIMETER FENCE
  - BUFFER YARD
  - ASPHALT PAVEMENT



**CODED NOTES:**

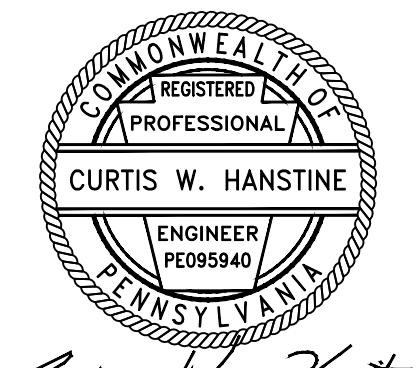
- 1) Grass area (slope to drain). Seed/Re-seed where disturbed by new construction and construction activities. Coordinate with Landscape Plans.
- 2) Concrete sidewalk. See "General Details", for Typical Concrete Sidewalk Section.
- 3) Heavy-duty asphalt pavement. See "General Details", for Typical Heavy-duty Asphalt Pavement Section.
- 4) Concrete curb. See "General Details", for Typical Concrete Curb Detail.
- 5) Curb Taper.
- 6) Pavement painting: 4" wide yellow striping.
- 7) Frost footing at man door. Coordinate with Building Plans.
- 8) 6' high chain link security fence / access gate. See "General Details", for Typical Chain Link Fence & Access Gate Detail.
- 9) Concrete truck wheel stop. See "General Details", for Typical Concrete Truck Wheel Stop Detail.

**GENERAL NOTES:**

- A. Provide smooth transition from newly paved areas to existing paved area as necessary. The existing edge of pavement shall be free of all loose debris at all areas where proposed pavement meets existing pavement. The edge of existing asphalt pavement shall be properly sealed with a tack coat material in all areas where new asphalt pavement is indicated to join existing.
- B. Contractor is responsible for locating and verifying all existing underground utilities prior to construction, and is responsible for any damage to them during construction.
- C. All dimensions to face of curb or edge of concrete unless otherwise noted.
- D. All pavement markings depicting parking spaces, accessible parking spaces, access aisles and no parking signage shall be applied with mechanical equipment and templates at the locations and lengths shown on the plans (two coats all locations). Paint shall be yellow in color (unless otherwise specified) and shall meet all applicable requirements of state department of highway specifications, unless otherwise specified.
- E. Contractor shall be solely responsible for and take all precautions necessary to avoid damage to adjacent properties during the construction phases of this project.
- F. All construction methods and materials must conform to current standards and specifications of the federal, state, county, city or local requirements, whichever has jurisdiction.
- G. All excavated and/or disturbed areas are to be seeded with a locally adaptive turf seed mix after final grading unless otherwise noted. All newly seeded areas shall have a minimum of 6" of topsoil. Hold soil down 1" from pavement elevation. Contractor to supply straw mulch where grass seed has been planted.
- H. All radii indicated on plans shall be constructed as circular.
- I. Resurface or reconstruct at least to original conditions all areas where traffic by contractors, subcontractors or suppliers have damaged existing pavement, lawns or other improvements during construction, after construction work is complete.
- J. The contractor shall verify all dimensions and elevations in the field prior to the start of construction. The contractor shall be responsible for all field dimensions and elevations during the entire construction schedule. If any discrepancies are found in these plans from actual field dimensions, the contractor shall contact the engineer immediately.
- K. Separation from Transformers. Space separation for transformers shall be as follows: (1) Transformer pad locations shall be a minimum of 10 feet (3 m) from any building, building overhangs, canopies, exterior walls, balconies, exterior stairs and/or walkways connected to the building; (2) Transformer pad edges shall be not less than 14 feet (4.3 m) from any doorway; (3) Transformer pad edges shall be not less than 10 feet (3 m) from any window or other opening; (4) If the building has an overhang, the 10 foot (3 m) clearance shall be measured from a point below the edge of the overhang only if the building is three stories or less. If the building is four stories or more, the 10 foot (3 m) clearance shall be measured from the outside building wall. (5) Fire escapes, outside stairs, and covered walkways attached to or between buildings, shall be considered as part of the building. 604.12.1 Transformer pads may be located closer to noncombustible walls than the above required minimum clearances in 605.12(1) upon written approval of the authority having jurisdiction, however, in no case shall the transformer location be less than 3 feet (0.9 m) from the building.
- L. SPCC plan and industrial stormwater NOI will be required prior to certificate of occupancy.

**WETLAND CERTIFICATION:**

"I, Curt Hanstine do hereby certify, to the best of my knowledge, information and belief, that the information contained in the accompanying plans, specifications, and reports have been prepared in accordance with accepted engineering practice, is true and correct, and is in conformance with Chapter 105 of the rules and regulations of the Department of Environmental Protection."



Curt W. Hanstine

ISSUED FOR PERMIT  
07/26/2024

**SITE IMPROVEMENT PLAN**  
SCALE: 1" = 40'

ISSUE DATE	07/26/2024	SCALE	1" = 40'	DATE	07/26/2024
SURVEYED BY	CEC/DEI	CHECKED BY	CWH	APPROVED BY	CWH
DRAWN BY	DEI	DATE		DESCRIPTION	
REV		DATE		DESCRIPTION	

**Diversified Engineering Inc.**  
CORPORATE ENGINEERING & ARCHITECTURE  
178 BAY AVENUE, NE  
NEW PHILADELPHIA, OH 44663  
Phone: (330) 364-4833  
Fax: (330) 364-4031  
Web: www.dveng.com

**PROJECT:**  
FACILITY EXPANSION  
4622 BETHLEHEM PIKE, TELFORD, PA 18969

**SHEET TITLE:**  
SITE IMPROVEMENT PLAN

SHEET NO:  
05 OF 19

**C4.0**

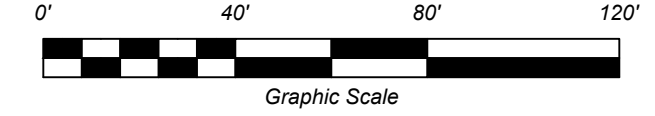
JOB NO:  
ENG-1857





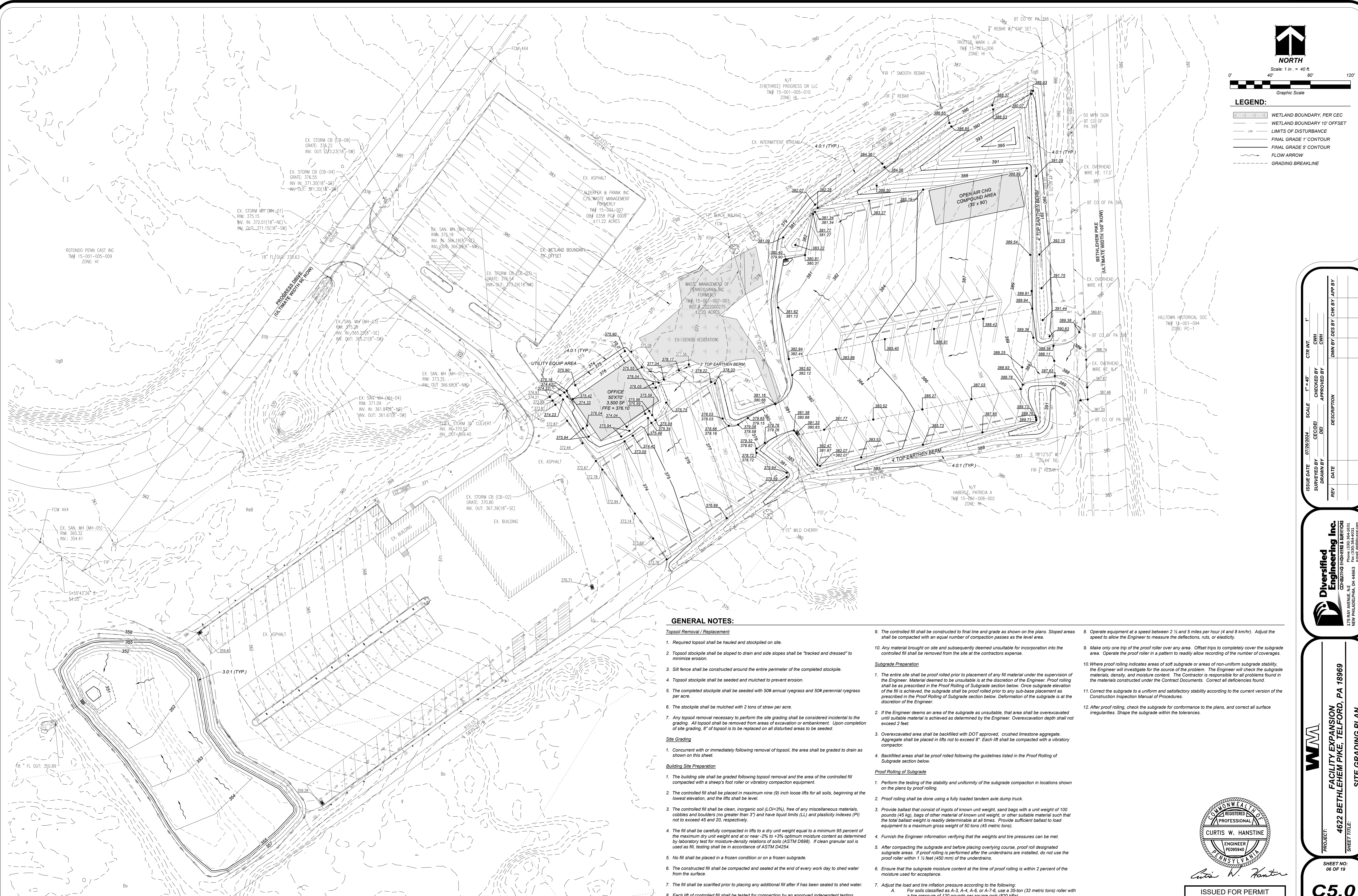
NORTH

Scale: 1 in. = 40 ft.



**LEGEND:**

	WETLAND BOUNDARY, PER CEC
	WETLAND BOUNDARY 10' OFFSET
	LIMITS OF DISTURBANCE
	FINAL GRADE 1' CONTOUR
	FINAL GRADE 5' CONTOUR
	FLOW ARROW
	GRADING BREAKLINE



**GENERAL NOTES:**

- Topsoil Removal / Replacement**
1. Required topsoil shall be hauled and stockpiled on site.
  2. Topsoil stockpile shall be sloped to drain and side slopes shall be "tracked and dressed" to minimize erosion.
  3. Silt fence shall be constructed around the entire perimeter of the completed stockpile.
  4. Topsoil stockpile shall be seeded and mulched to prevent erosion.
  5. The completed stockpile shall be seeded with 50# annual ryegrass and 50# perennial ryegrass per acre.
  6. The stockpile shall be mulched with 2 tons of straw per acre.
  7. Any topsoil removal necessary to perform the site grading shall be considered incidental to the grading. All topsoil shall be removed from areas of excavation or embankment. Upon completion of site grading, 8" of topsoil is to be replaced on all disturbed areas to be seeded.
- Site Grading**
1. Concurrent with or immediately following removal of topsoil, the area shall be graded to drain as shown on this sheet.
- Building Site Preparation**
1. The building site shall be graded following topsoil removal and the area of the controlled fill compacted with a sheep's foot roller or vibratory compaction equipment.
  2. The controlled fill shall be placed in maximum nine (9) inch loose lifts for all soils, beginning at the lowest elevation, and the lifts shall be level.
  3. The controlled fill shall be clean, inorganic soil (LO<3%), free of any miscellaneous materials, cobbles and boulders (no greater than 3") and have liquid limits (LL) and plasticity indexes (PI) not to exceed 45 and 20, respectively.
  4. The fill shall be carefully compacted in lifts to a dry unit weight equal to a minimum 95 percent of the maximum dry unit weight and at or near -2% to +3% optimum moisture content as determined by laboratory test for moisture-density relations of soils (ASTM D698). If clean granular soil is used as fill, testing shall be in accordance of ASTM D4254.
  5. No fill shall be placed in a frozen condition or on a frozen subgrade.
  6. The constructed fill shall be compacted and sealed at the end of every work day to shed water from the surface.
  7. The fill shall be scarified prior to placing any additional fill after it has been sealed to shed water.
  8. Each lift of controlled fill shall be tested for compaction by an approved independent testing laboratory field technician. Tests shall be made in such locations and in such quantity as the construction manager and the testing laboratory deem necessary. A minimum of six (6) tests per lift at random locations shall be made.
- Subgrade Preparation**
1. The entire site shall be proof rolled prior to placement of any fill material under the supervision of the Engineer. Material deemed to be unsuitable is at the discretion of the Engineer. Proof rolling shall be as prescribed in the Proof Rolling of Subgrade section below. Once subgrade elevation of the fill is achieved, the subgrade shall be proof rolled prior to any sub-base placement as prescribed in the Proof Rolling of Subgrade section below. Deformation of the subgrade is at the discretion of the Engineer.
  2. If the Engineer deems an area of the subgrade as unsuitable, that area shall be overexcavated until suitable material is achieved as determined by the Engineer. Overexcavation depth shall not exceed 2 feet.
  3. Overexcavated area shall be backfilled with DOT approved, crushed limestone aggregate. Aggregate shall be placed in lifts not to exceed 6". Each lift shall be compacted with a vibratory compactor.
  4. Backfilled areas shall be proof rolled following the guidelines listed in the Proof Rolling of Subgrade section below.
- Proof Rolling of Subgrade**
1. Perform the testing of the stability and uniformity of the subgrade compaction in locations shown on the plans by proof rolling.
  2. Proof rolling shall be done using a fully loaded tandem axle dump truck.
  3. Provide ballast that consist of ingots of known unit weight, sand bags with a unit weight of 100 pounds (45 kg), bags of other material of known unit weight, or other suitable material such that the total ballast weight is readily determinable at all times. Provide sufficient ballast to load equipment to a maximum gross weight of 50 tons (45 metric tons).
  4. Furnish the Engineer information verifying that the weights and tire pressures can be met.
  5. After compacting the subgrade and before placing overlying course, proof roll designated subgrade areas. If proof rolling is performed after the underdrains are installed, do not use the proof roller within 1 1/2 feet (450 mm) of the underdrains.
  6. Ensure that the subgrade moisture content at the time of proof rolling is within 2 percent of the moisture used for acceptance.
  7. Adjust the load and tire inflation pressure according to the following:
    - A. For soils classified as A-3, A-4, A-6, or A-7-6, use a 35-ton (32 metric tons) roller with a tire pressure of 120 pounds per square inch (820 kPa).
    - B. For granular soils, and soil, rock, and granular mixtures, use a 50-ton (46 metric tons) roller with a tire pressure of 150 pounds per square inch (1030 kPa).
    - C. Measure the tire pressure in the presence of the Engineer.
- 6. The controlled fill shall be constructed to final line and grade as shown on the plans. Sloped areas shall be compacted with an equal number of compaction passes as the level area.**
- 10. Any material brought on site and subsequently deemed unsuitable for incorporation into the controlled fill shall be removed from the site at the contractors expense.**
- 8. Operate equipment at a speed between 2 1/2 and 5 miles per hour (4 and 8 km/hr). Adjust the speed to allow the Engineer to measure the deflections, ruts, or elasticity.**
- 9. Make only one trip of the proof roller over any area. Offset trips to completely cover the subgrade area. Operate the proof roller in a pattern to readily allow recording of the number of coverages.**
- 10. Where proof rolling indicates areas of soft subgrade or areas of non-uniform subgrade stability, the Engineer will investigate for the source of the problem. The Engineer will check the subgrade materials, density, and moisture content. The Contractor is responsible for all problems found in the materials constructed under the Contract Documents. Correct all deficiencies found.**
- 11. Correct the subgrade to a uniform and satisfactory stability according to the current version of the Construction Inspection Manual of Procedures.**
- 12. After proof rolling, check the subgrade for conformance to the plans, and correct all surface irregularities. Shape the subgrade within the tolerances.**

**SITE GRADING PLAN**  
SCALE: 1" = 40'

ISSUE DATE	07/26/2024	SCALE	1" = 40'	DATE	
SURVEYED BY	CEC/DEI	CHECKED BY	CWH	DATE	
DRAWN BY	DEI	APPROVED BY	CWH	DATE	
REV		DESCRIPTION		DATE	
		DWN BY (DES BY) CHK BY APP BY			

**Diversified Engineering Inc.**  
CORPORATE ENGINEERING & ARCHITECTURE  
176 BAY AVENUE, 3RD FLOOR  
NEW PHILADELPHIA, OH 44663  
Phone: (330) 364-8483  
Fax: (330) 364-4031  
Web: www.dveng.com

**WM**

PROJECT: **FACILITY EXPANSION**  
**4622 BETHLEHEM PIKE, TELFORD, PA 18969**

SHEET TITLE: **SITE GRADING PLAN**

SHEET NO: **C5.0**  
06 OF 19

JOB NO: **ENG-1857**

COMMONWEALTH OF PENNSYLVANIA  
REGISTERED PROFESSIONAL ENGINEER  
**CURTIS W. HANSTINE**  
PE095940

*Curtis W. Hanstine*

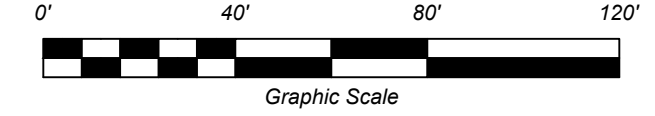
ISSUED FOR PERMIT  
07/26/2024





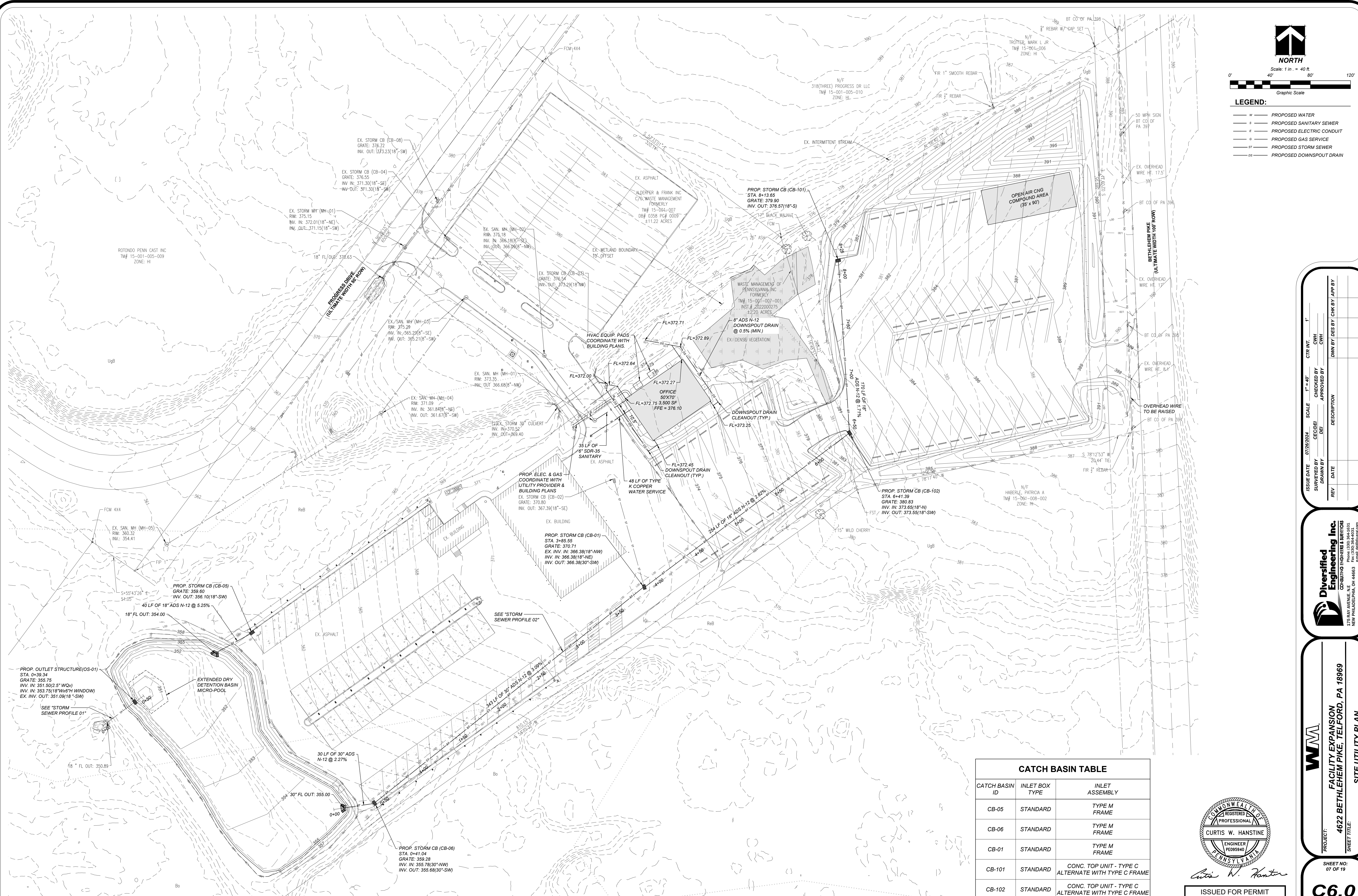
NORTH

Scale: 1 in. = 40 ft.

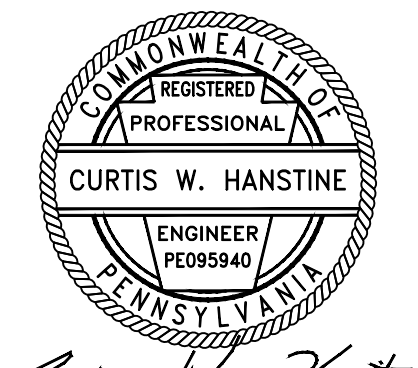


LEGEND:

- w- PROPOSED WATER
- s- PROPOSED SANITARY SEWER
- e- PROPOSED ELECTRIC CONDUIT
- g- PROPOSED GAS SERVICE
- st- PROPOSED STORM SEWER
- ds- PROPOSED DOWNSPOUT DRAIN



CATCH BASIN TABLE		
CATCH BASIN ID	INLET BOX TYPE	INLET ASSEMBLY
CB-05	STANDARD	TYPE M FRAME
CB-06	STANDARD	TYPE M FRAME
CB-01	STANDARD	TYPE M FRAME
CB-101	STANDARD	CONC. TOP UNIT - TYPE C ALTERNATE WITH TYPE C FRAME
CB-102	STANDARD	CONC. TOP UNIT - TYPE C ALTERNATE WITH TYPE C FRAME



ISSUED FOR PERMIT 07/26/2024

REV	DATE	DESCRIPTION

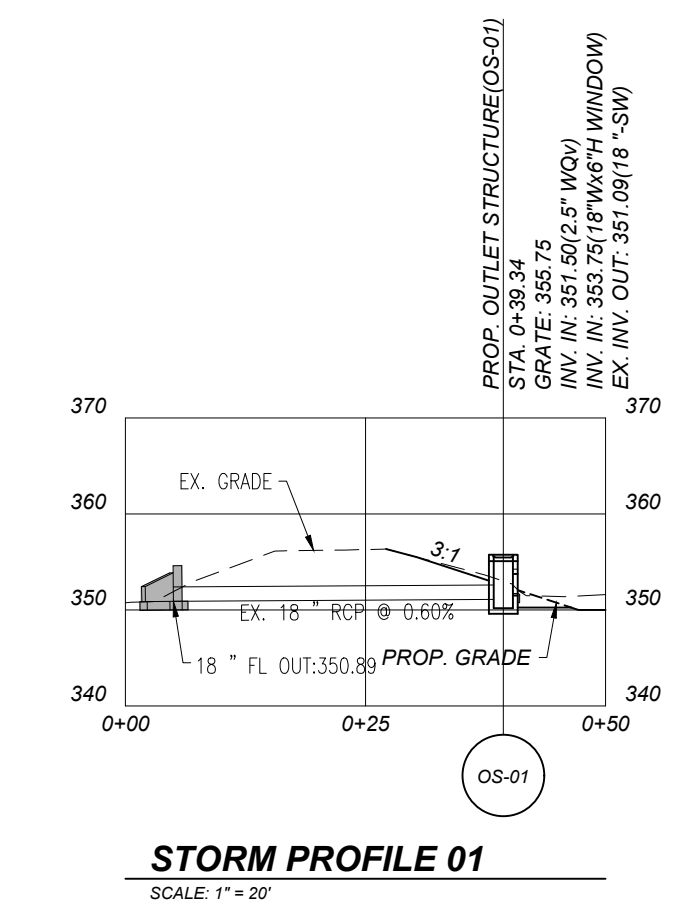
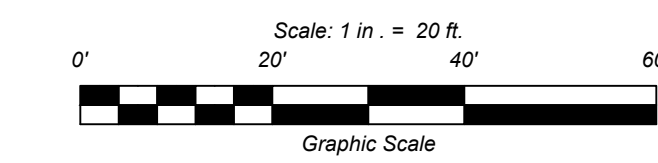
**Diversified Engineering Inc.**  
 CONSULTING ENGINEERS & ARCHITECTS  
 175 BAY AVENUE, SUITE 200  
 NEW PHILADELPHIA, OH 44663  
 Phone: (330) 364-4363  
 Fax: (330) 364-4031  
 Web: www.dveng.com

**WM**  
 PROJECT: FACILITY EXPANSION  
 4622 BETHLEHEM PIKE, TELFORD, PA 18969  
 SHEET TITLE: SITE UTILITY PLAN

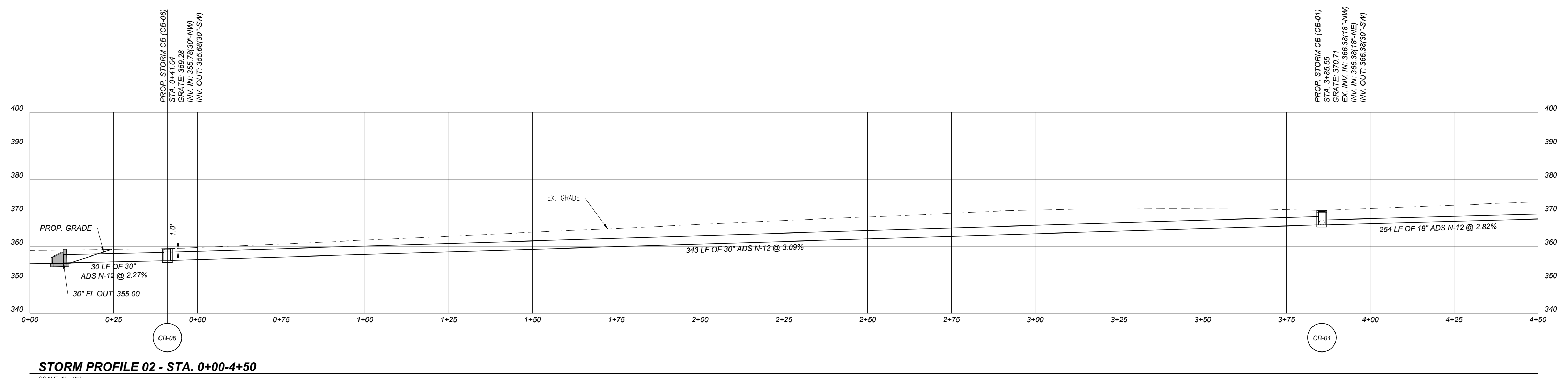
SHEET NO: 07 OF 19  
**C6.0**  
 JOB NO: ENG-1857

SITE UTILITY PLAN  
SCALE: 1" = 40'

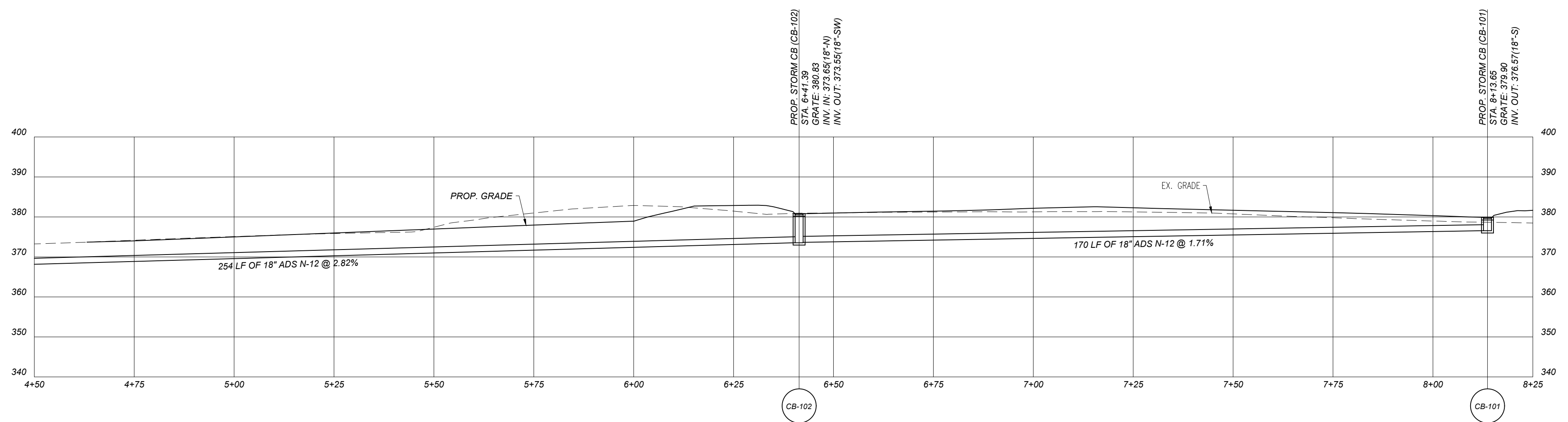




**STORM PROFILE 01**  
SCALE: 1" = 20'

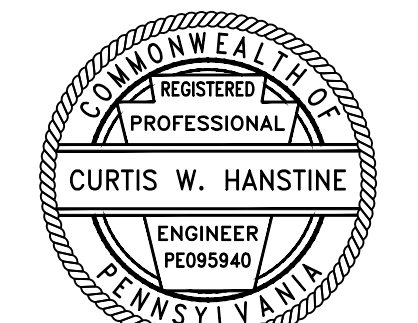


**STORM PROFILE 02 - STA. 0+00-4+50**  
SCALE: 1" = 20'



**STORM PROFILE 02 - STA. 4+50-END**  
SCALE: 1" = 20'

CATCH BASIN TABLE		
CATCH BASIN ID	INLET BOX TYPE	INLET ASSEMBLY
CB-05	STANDARD	TYPE M FRAME
CB-06	STANDARD	TYPE M FRAME
CB-01	STANDARD	TYPE M FRAME
CB-101	STANDARD	CONC. TOP UNIT - TYPE C ALTERNATE WITH TYPE C FRAME
CB-102	STANDARD	CONC. TOP UNIT - TYPE C ALTERNATE WITH TYPE C FRAME



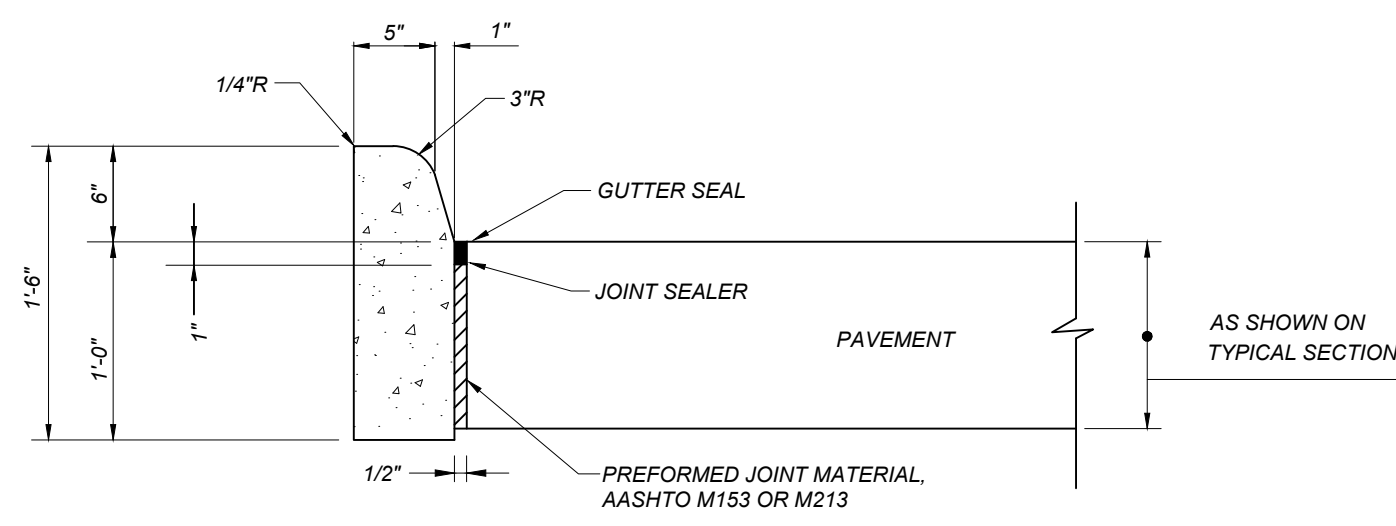
*Curtis W. Hanstine*  
 ISSUED FOR PERMIT  
 07/26/2024

REV	DATE	DESCRIPTION	APPROVED BY	CHECKED BY	SCALE	CTR. INT.

**Diversified Engineering Inc.**  
 CONSULTING ENGINEERS & ARCHITECTS  
 1275 BAY AVENUE, N.E.  
 NEW PHILADELPHIA, OH 44663  
 Phone: (330) 364-4353  
 Fax: (330) 364-4031  
 Web: www.denginc.com

**WM**  
 PROJECT: FACILITY EXPANSION  
 4622 BETHLEHEM PIKE, TELFORD, PA 18969  
 SHEET TITLE: SITE UTILITY PROFILES

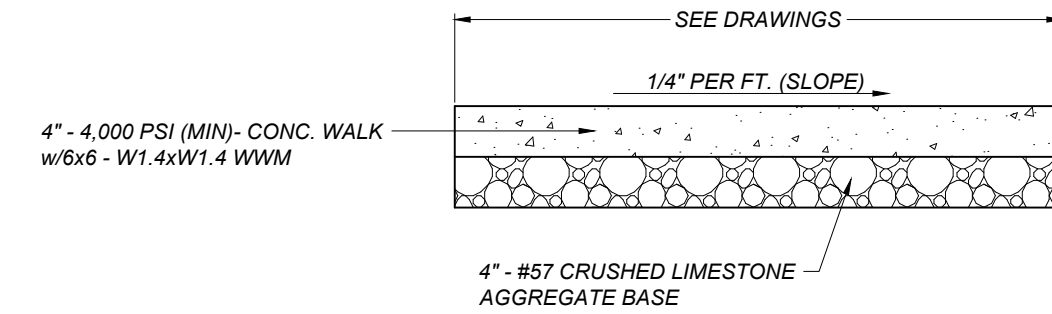
SHEET NO:  
08 OF 19  
**C6.1**  
 JOB NO:  
ENG-1857



DESIGNER NOTE: EXPANSION JOINT MATERIAL AND JOINT SEALER IS NOT REQUIRED FOR THAT PORTION OF THE CURB WHICH IS ADJACENT TO A FLEXIBLE TYPE PAVEMENT.

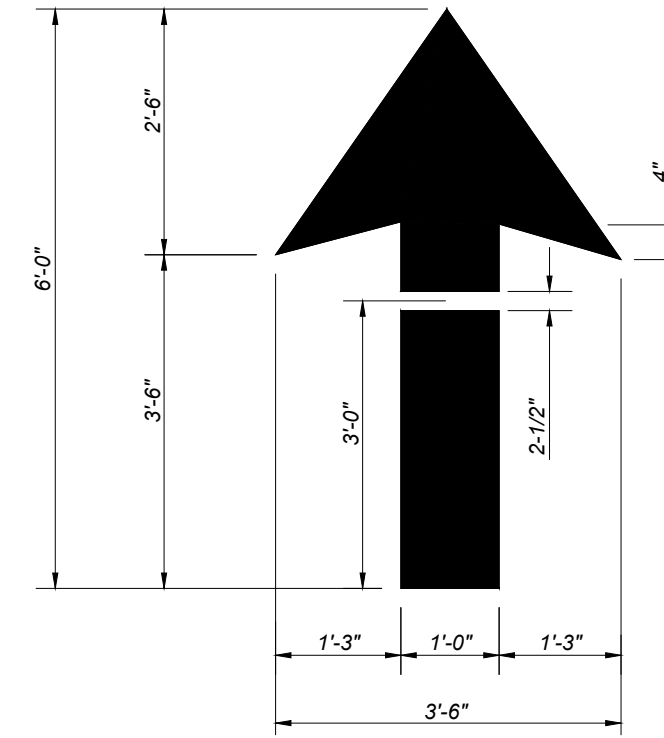
STANDARD 6" CONCRETE CURB DETAIL

DETAIL 1  
SCALE: NOT TO SCALE C7.0



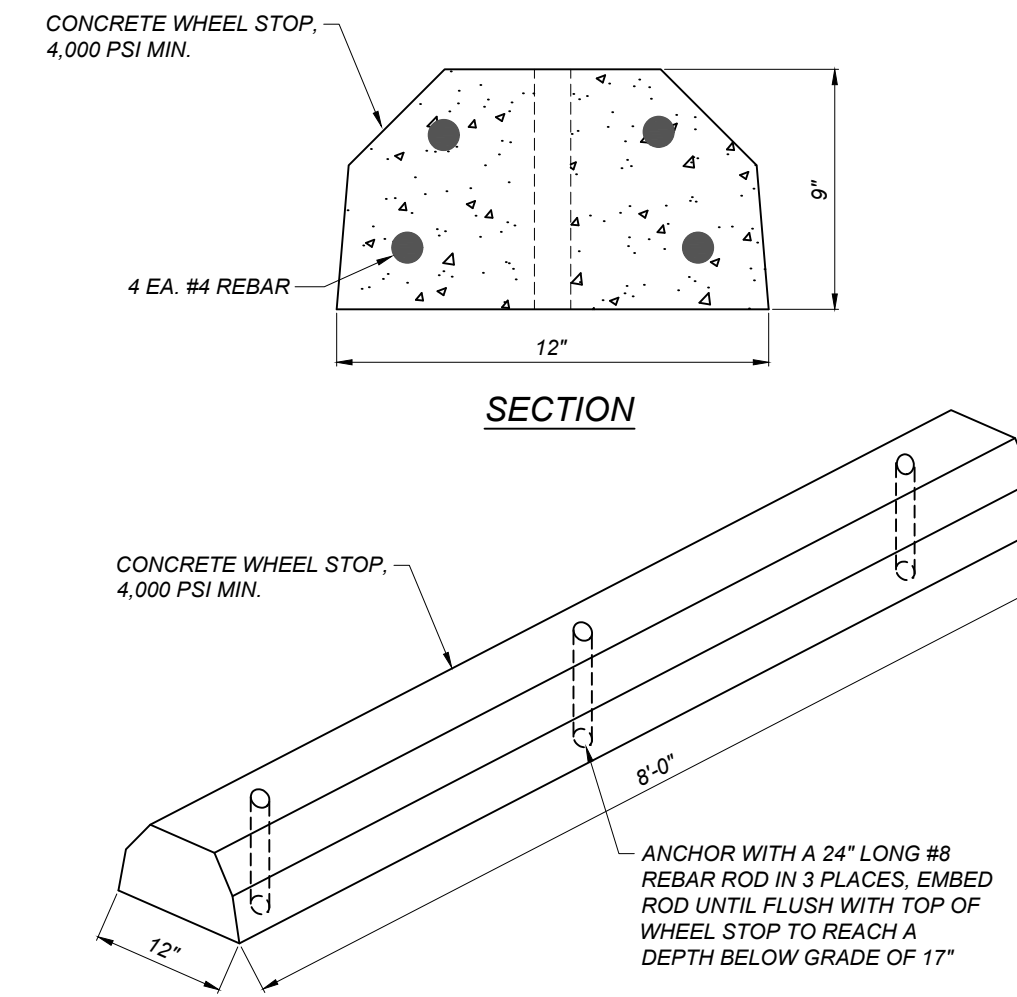
TYPICAL CONCRETE SIDEWALK SECTION

DETAIL 2  
SCALE: NOT TO SCALE C7.0



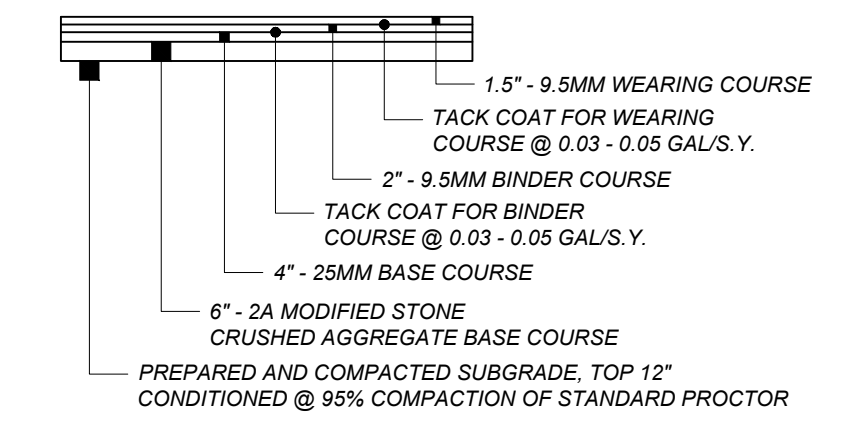
PAVEMENT MARKING TYPICAL DIRECTIONAL ARROW

DETAIL 3  
SCALE: NOT TO SCALE C7.0



TYPICAL CONCRETE TRUCK WHEEL STOP

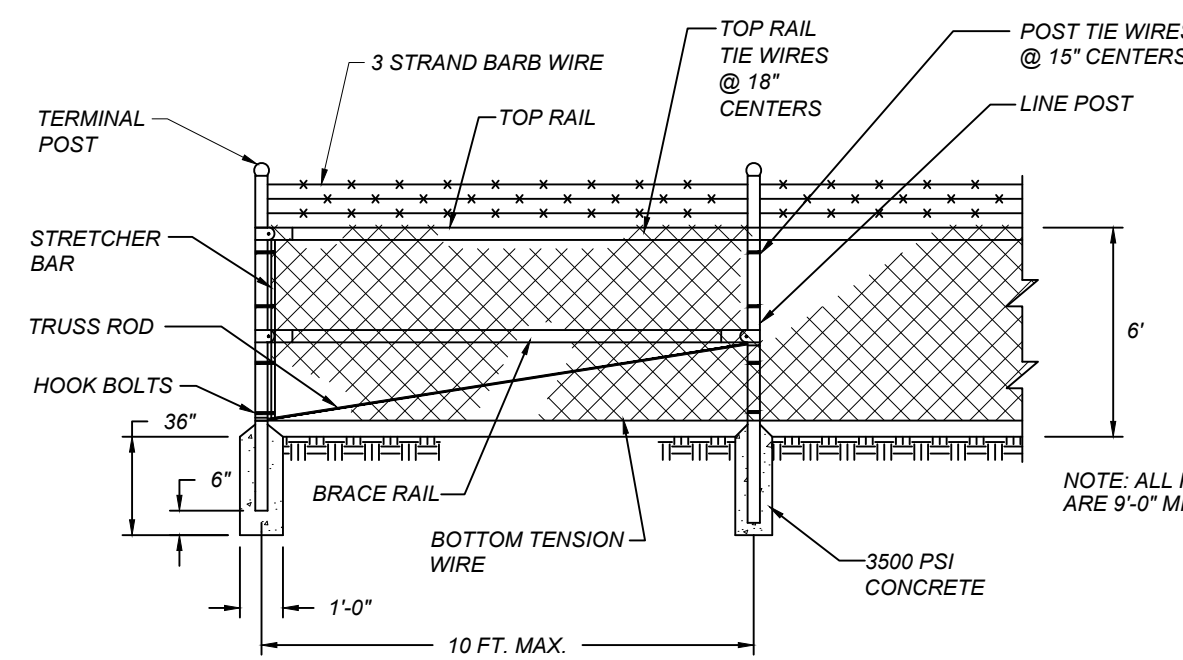
DETAIL 4  
SCALE: NOT TO SCALE C7.0



TYPICAL HEAVY-DUTY ASPHALT SECTION

DETAIL 5  
SCALE: NOT TO SCALE C7.0

- NOTE:
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITIONS OF PENNDOT PUBLICATION 408 AND 242 (PAVEMENT POLICY MANUAL).
  2. THE DESIGN SHALL BE BASED ON 0.0 TO 0.3 MILLION ESAL'S.
  3. THE SLR RATING SHALL BE "M" OR GREATER.
  4. ALL SUBGRADE AREAS SHALL BE COMPACTED AND APPROVED PRIOR TO PLACEMENT OF MATERIALS.



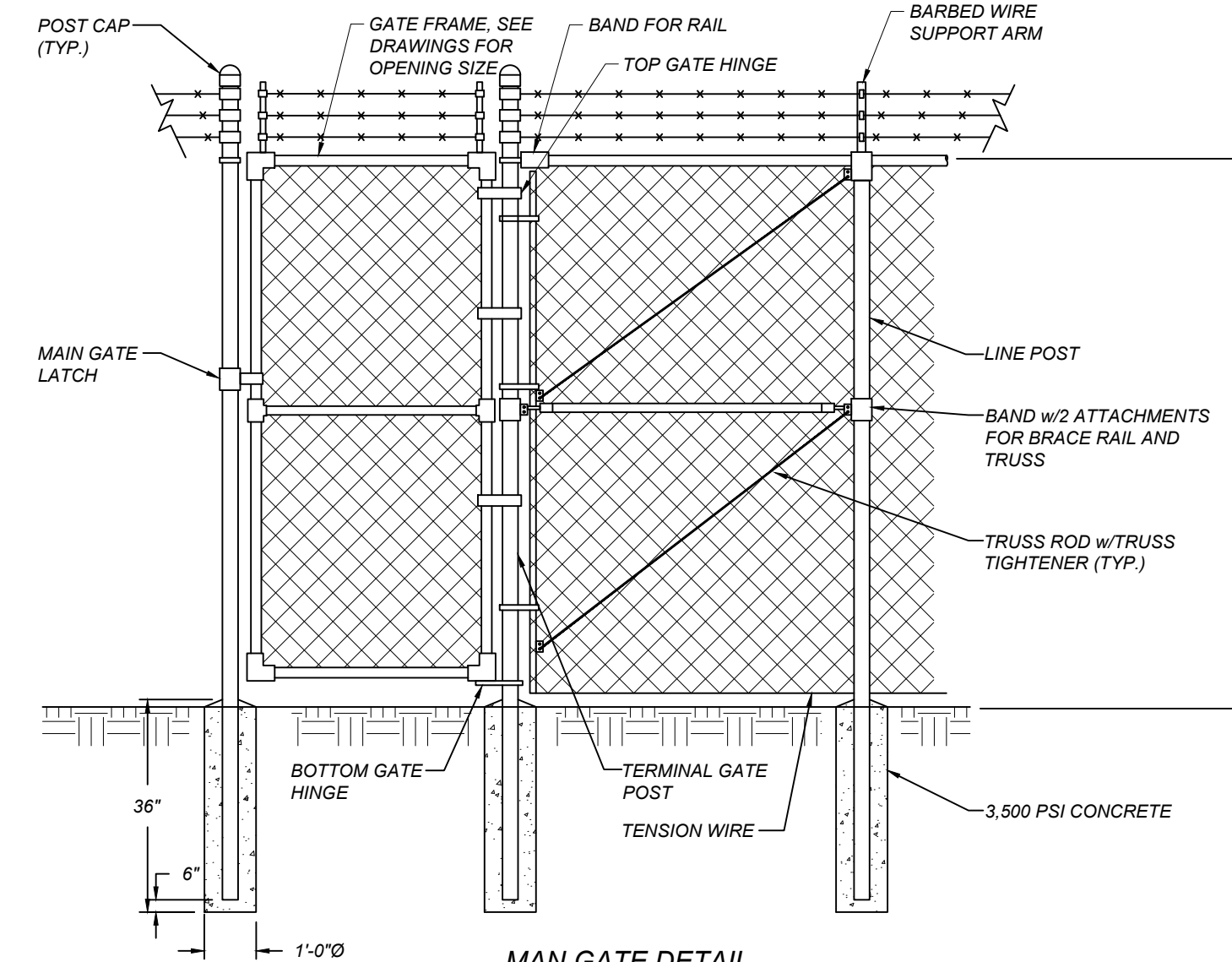
FENCE DETAILS

NOT TO SCALE

CONSTRUCTION NOTES:

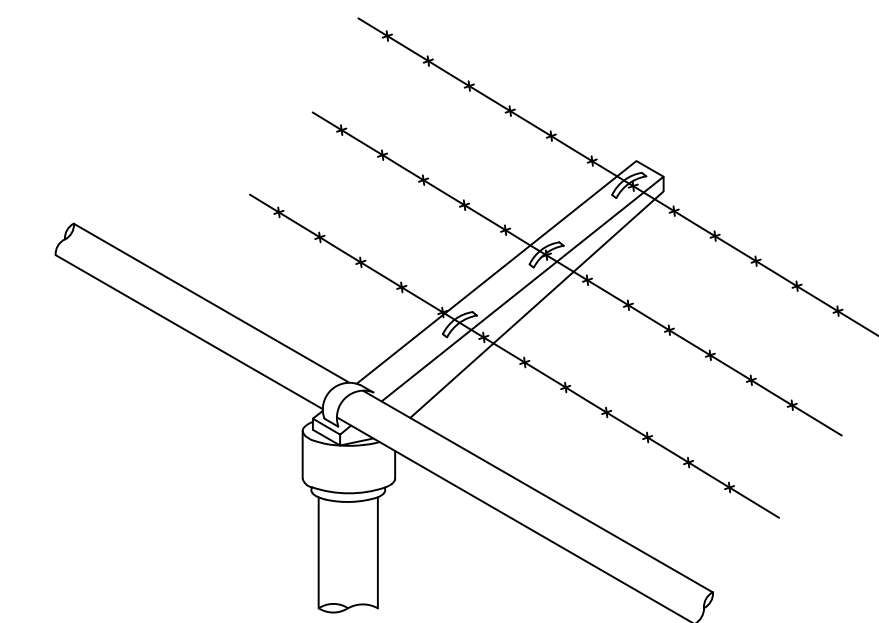
1. MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE MANUFACTURER'S SPECIFICATIONS.
2. ALL POSTS SHALL BE INSTALLED VERTICALLY. WHERE POSTS ARE INSTALLED ON AN INCLINED SURFACE, THE ANGLE OF THE POST SHALL BE ADJUSTED SO THAT THE POST WILL BE VERTICAL.
3. THE FENCING SHALL BE #9 GAUGE FENCE FABRIC, STANDARD GALVANIZED COATED CHAIN LINK DIAMOND MESH, MAXIMUM CLEAR SPACING AT BOTTOM IS 2".
4. CONTRACTOR TO CONFIRM ALL SAFETY SPECIFICATIONS PRIOR TO FABRICATION/INSTALLATION OF FENCE, GATES AND APPURTENANCES.
5. BARBED WIRE SHALL BE 12 1/2 GAUGE WITH 14 GAUGE FOUR POINT BARBS SPACED 5". SUPPORT ARMS AT A 45° ANGLE ON LINE POSTS WITH TOP STRAND 12" ABOVE AND OTHER TWO EVENLY SPACED.
6. LINE POSTS SHALL BE 1 1/2" O.D.
7. \*\*TERMINAL POSTS SHALL BE 2.875" O.D.
8. SWING GATE POSTS SHALL BE 4.0" O.D.
9. SLIDE GATE POSTS SHALL BE 6.625" O.D.

\*\*INCLUDES END, CORNER, ANGLE, INTERSECTION AND INTERMEDIATE BRACE POSTS.



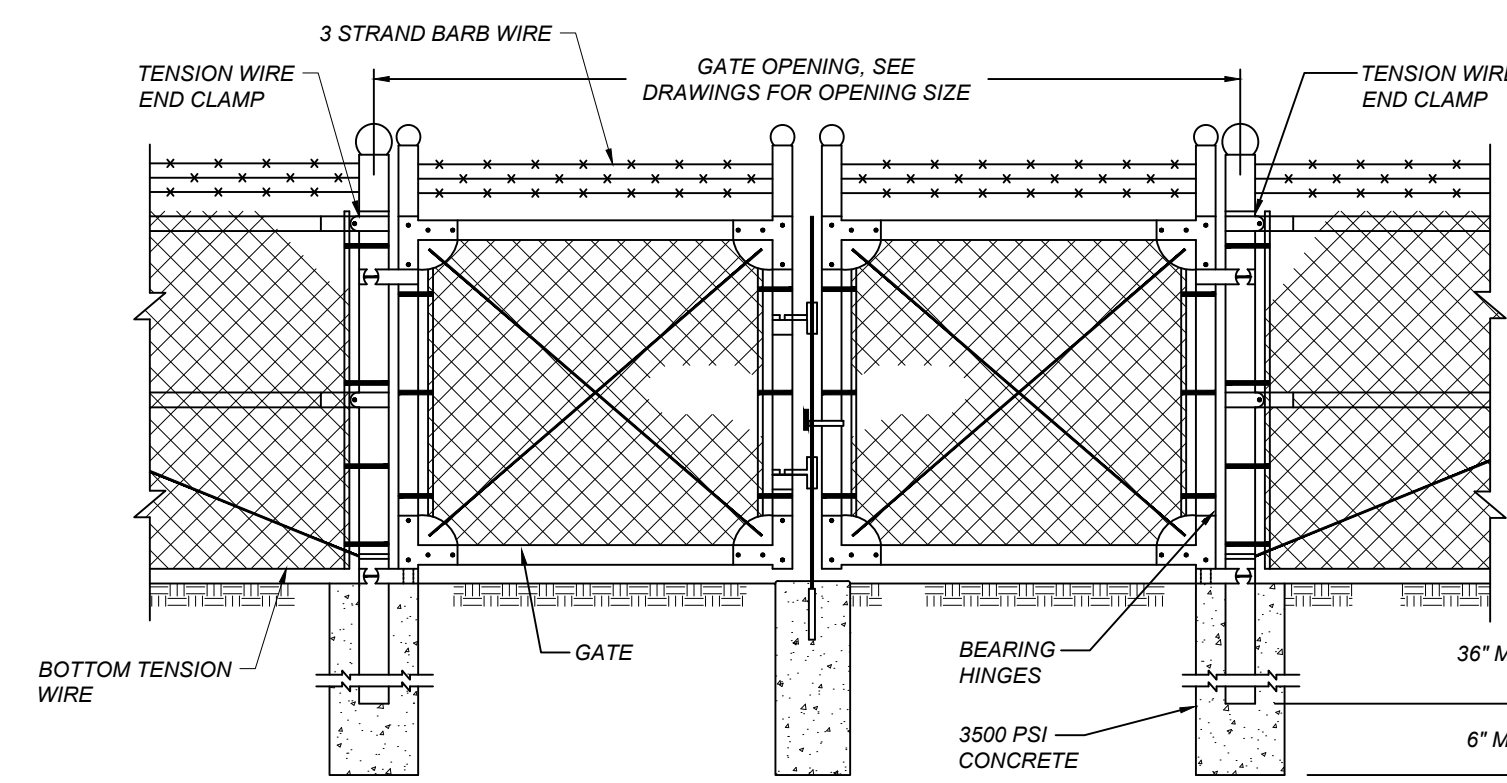
MAN GATE DETAIL

NOT TO SCALE



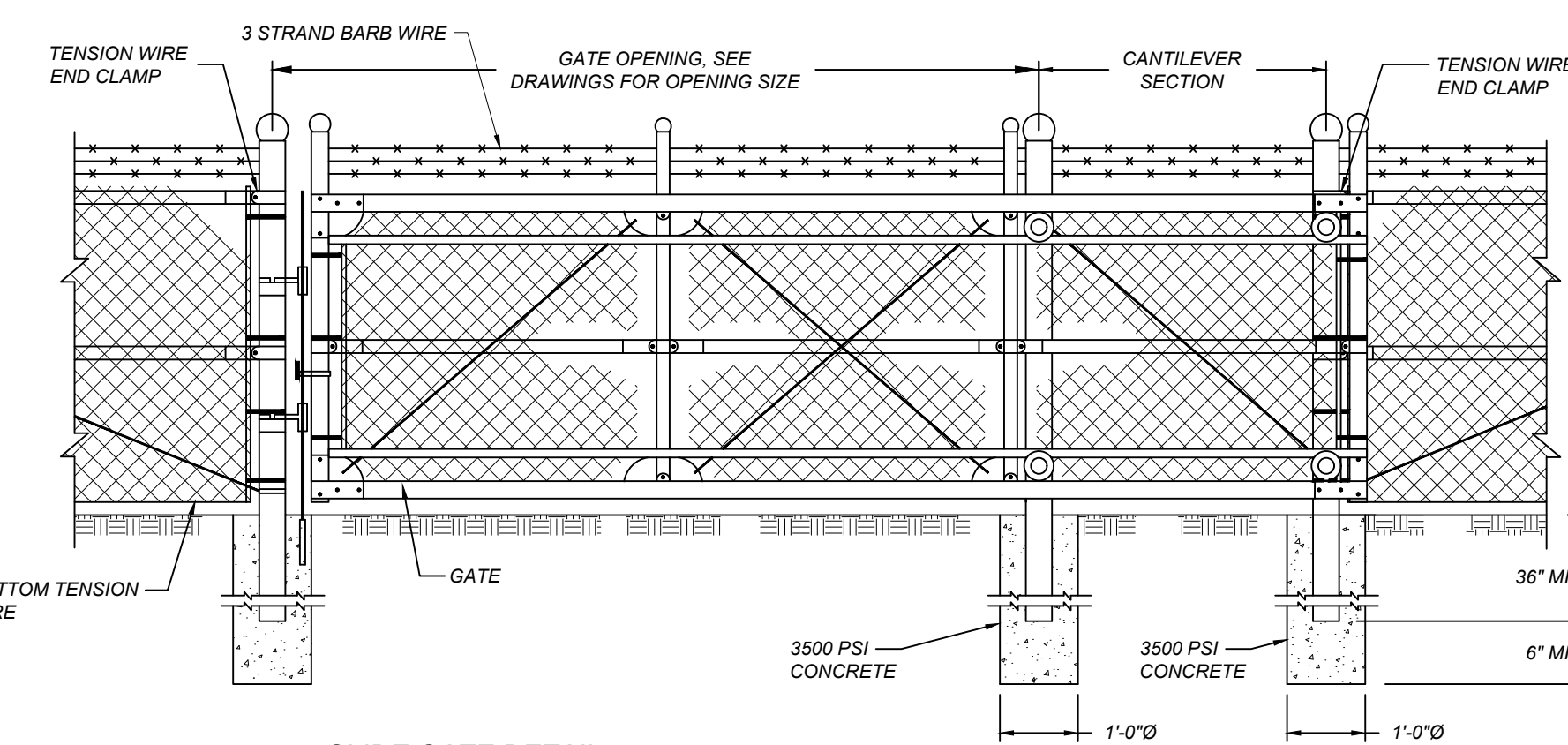
BARBED WIRE FENCE SUPPORT ARM DETAIL

NOT TO SCALE



SWING GATE DETAIL

NOT TO SCALE



SLIDE GATE DETAIL

NOT TO SCALE

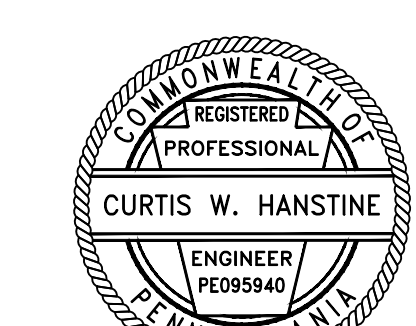
TYPICAL CHAIN LINK FENCE & ACCESS GATE

DETAIL 6  
SCALE: NOT TO SCALE C7.0

ISSUE DATE	07/26/2024	SCALE	N.T.S.	CTR INT.	
SURVEYED BY	CEC/DEI	CHECKED BY	CWH		
DRAWN BY	DEI	APPROVED BY	CWH		
REV	DATE	DESCRIPTION			
		DWN BY (DES BY) CHK BY APP BY			

**Diversified Engineering Inc.**  
 CONSULTING ENGINEERS & ARCHITECTS  
 178 BAY AVENUE, NE  
 NEW PHILADELPHIA, OH 44663  
 Phone: (330) 364-4833  
 Fax: (330) 364-4031  
 Web: www.dveng.com

**WM**  
 PROJECT: FACILITY EXPANSION  
 4622 BETHLEHEM PIKE, TELFORD, PA 18969  
 SHEET TITLE: GENERAL DETAILS



Curtis W. Hanstine

ISSUED FOR PERMIT  
07/26/2024

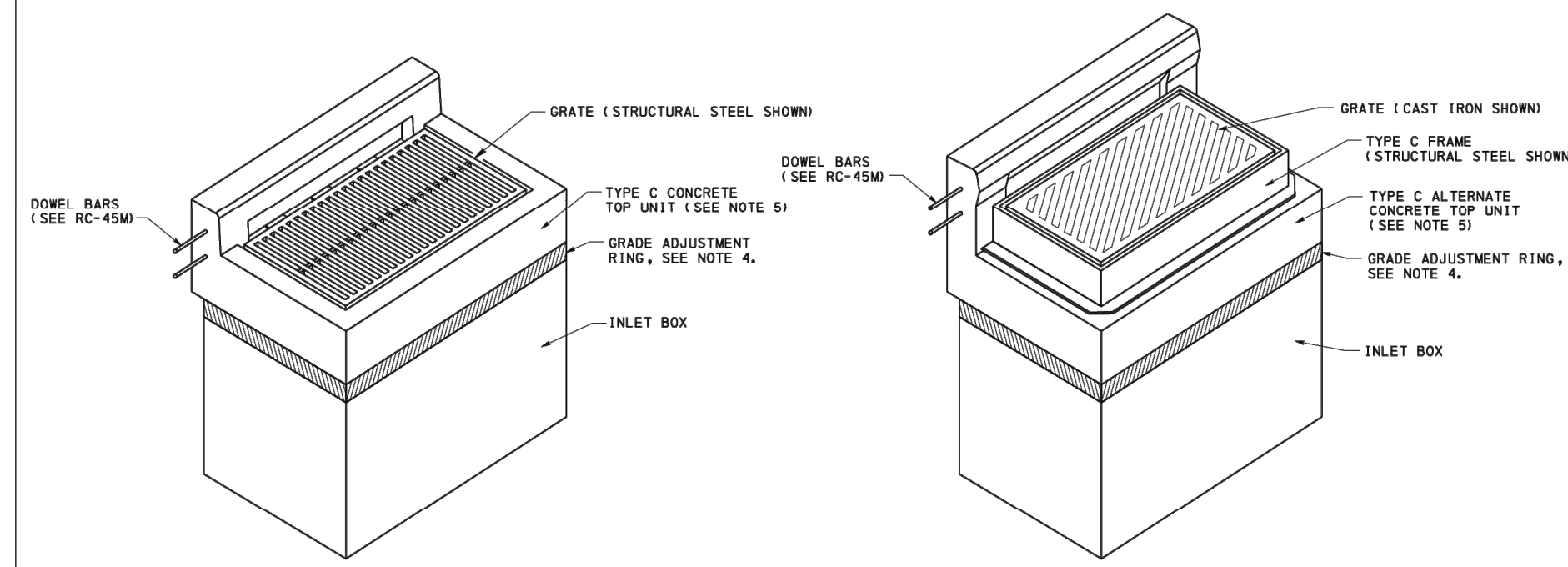
SHEET NO:  
09 OF 19

**C7.0**

JOB NO:  
ENG-1857

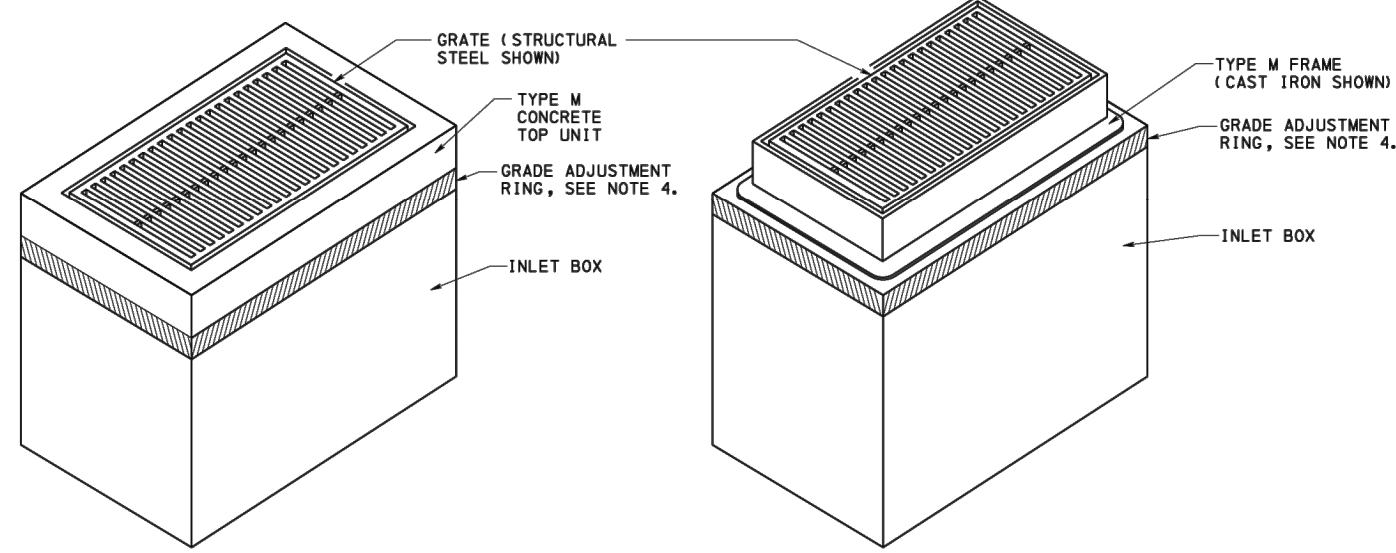






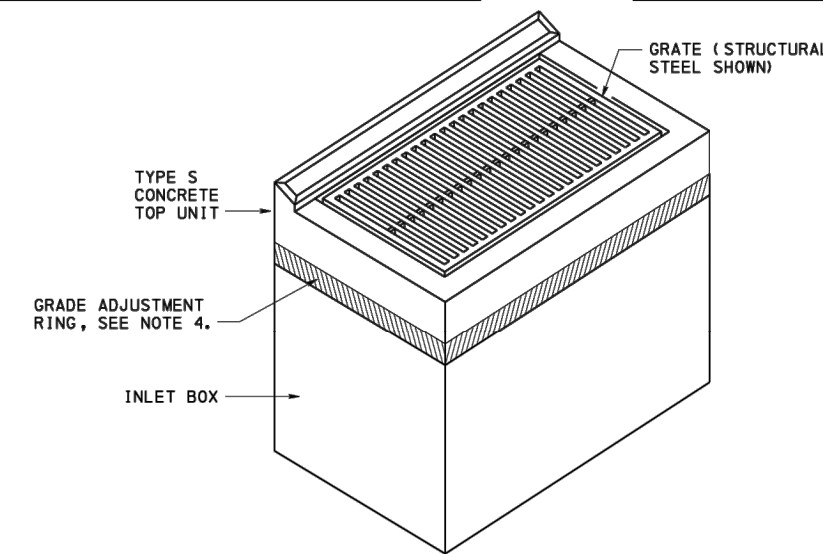
CONCRETE TOP UNIT - TYPE C

CONCRETE TOP UNIT - TYPE C ALTERNATE WITH TYPE C FRAME



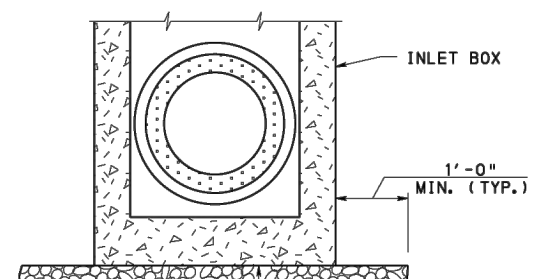
CONCRETE TOP UNIT - TYPE M

INLET BOX WITH TYPE M FRAME

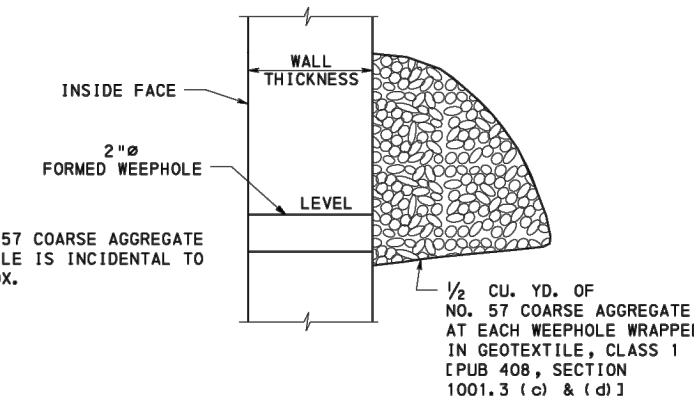


CONCRETE TOP UNIT - TYPE S

- NOTES:**
- FOR ADDITIONAL NOTES, SEE SHEETS 1 - 3.
  - STANDARD INLET BOXES SHOWN, PROVIDE TOP SLABS FOR OTHER INLET BOX TYPES.
  - SEE RC-45M FOR DETAILS FOR THE CONCRETE TOP UNITS, FRAMES, AND GRATES.
  - PROVIDE GRADE ADJUSTMENT RINGS WHEN REQUIRED. SEE RC-45M FOR DETAILS.
  - REFER TO CONTRACT DRAWINGS FOR CURB HEIGHT.



INLET BOX SUBBASE PREPARATION DETAIL  
(SEE FIELD CONSTRUCTION NOTES ON SHEET 1)



WEEPHOLE DETAIL  
(SEE GENERAL NOTE 15 ON SHEET 1)

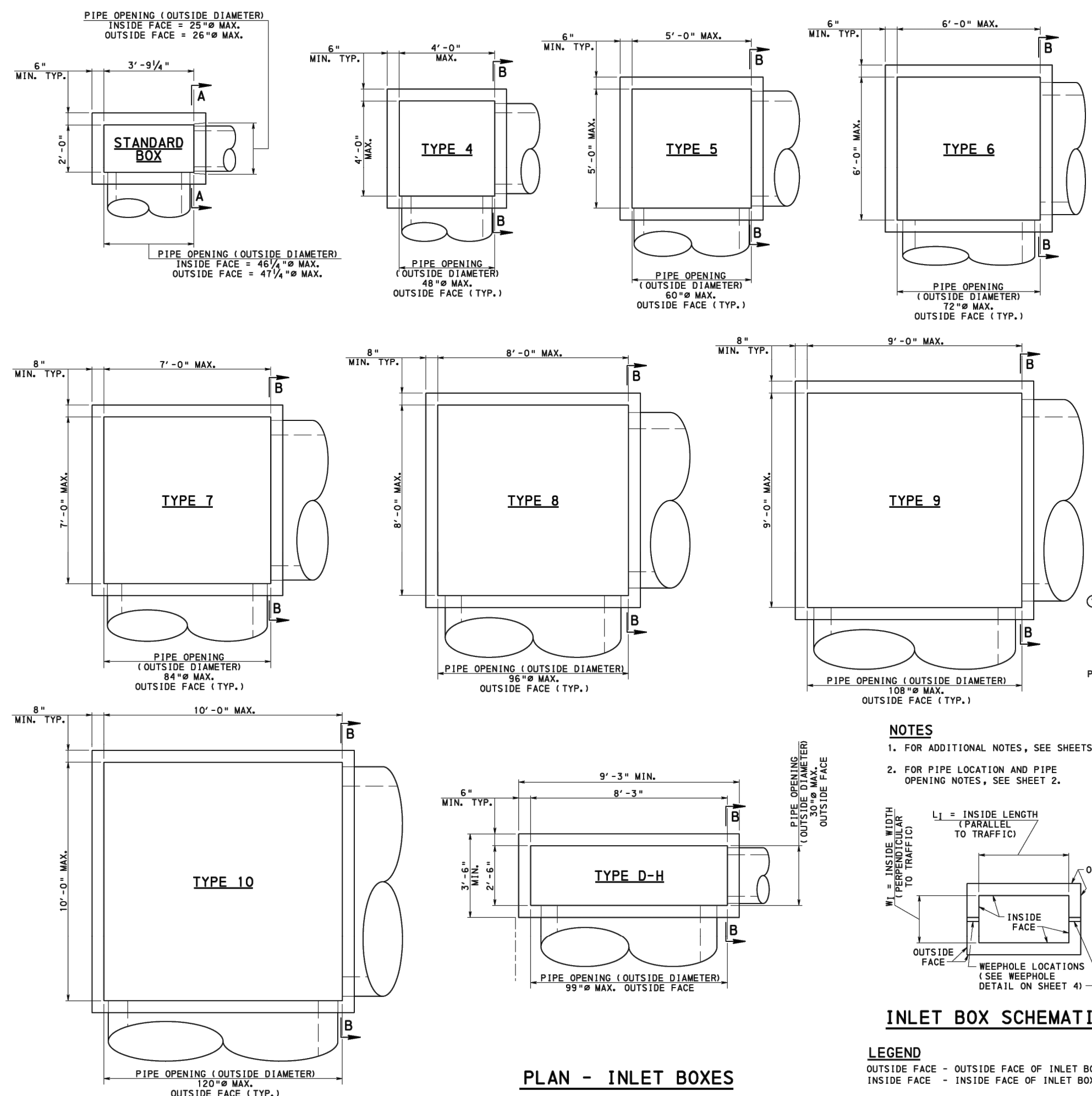
COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF TRANSPORTATION  
BUREAU OF PROJECT DELIVERY

INLET BOXES  
INLET ASSEMBLIES - 1

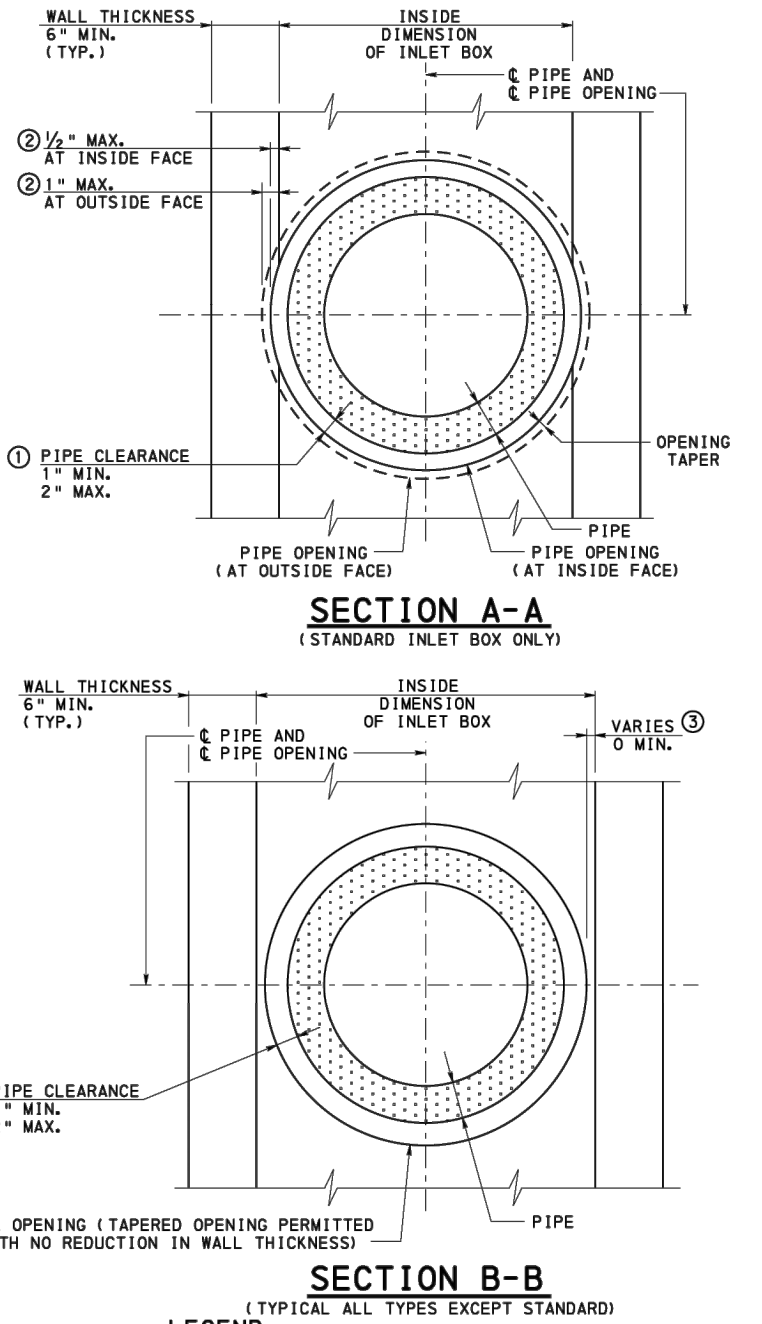
RECOMMENDED FEB. 19, 2021  
CHIEF, INV. DELIVERY DIVISION

RECOMMENDED FEB. 19, 2021  
DIRECTOR, BUREAU OF PROJECT DELIVERY

SHT 4 OF 34  
RC-46M



PLAN - INLET BOXES



SECTION A-A  
(STANDARD INLET BOX ONLY)

SECTION B-B  
(TYPICAL ALL TYPES EXCEPT STANDARD)

- NOTES:**
- FOR ADDITIONAL NOTES, SEE SHEETS 1 - 3.
  - FOR PIPE LOCATION AND PIPE OPENING NOTES, SEE SHEET 2.

- LEGEND:**
- OUTSIDE DIAMETER OF PIPE TO PIPE OPENING
  - REDUCTION IN WALL THICKNESS DIMENSION
  - INSIDE FACE OF BOX WALL TO OUTSIDE DIAMETER OF PIPE OPENING

INLET BOX SCHEMATIC

- LEGEND:**
- OUTSIDE FACE - OUTSIDE FACE OF INLET BOX WALL  
INSIDE FACE - INSIDE FACE OF INLET BOX WALL

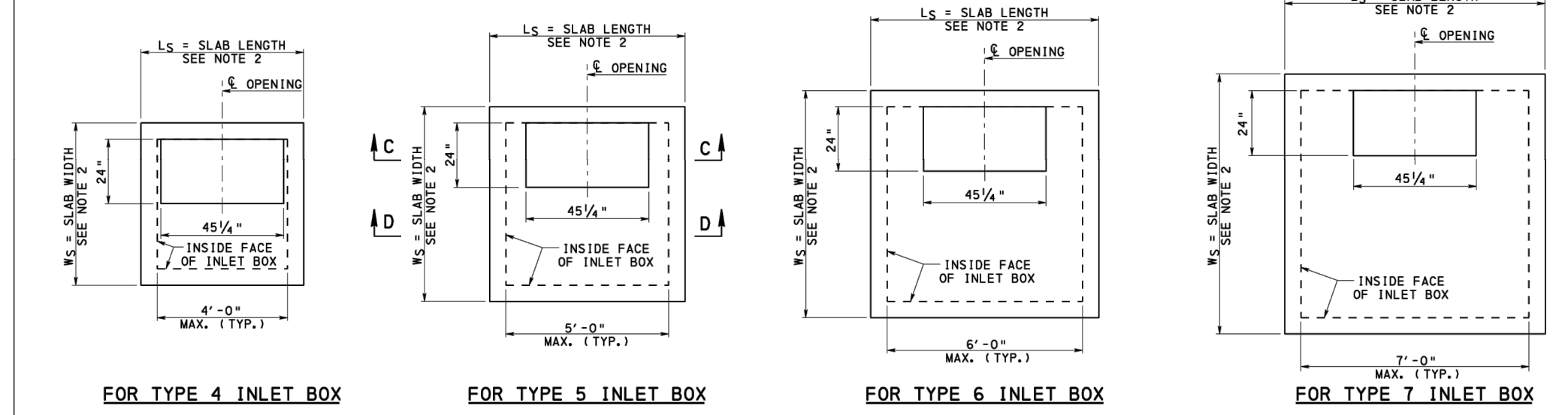
COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF TRANSPORTATION  
BUREAU OF PROJECT DELIVERY

INLET BOXES  
INLET BOX TYPES

RECOMMENDED FEB. 19, 2021  
CHIEF, INV. DELIVERY DIVISION

RECOMMENDED FEB. 19, 2021  
DIRECTOR, BUREAU OF PROJECT DELIVERY

SHT 6 OF 34  
RC-46M

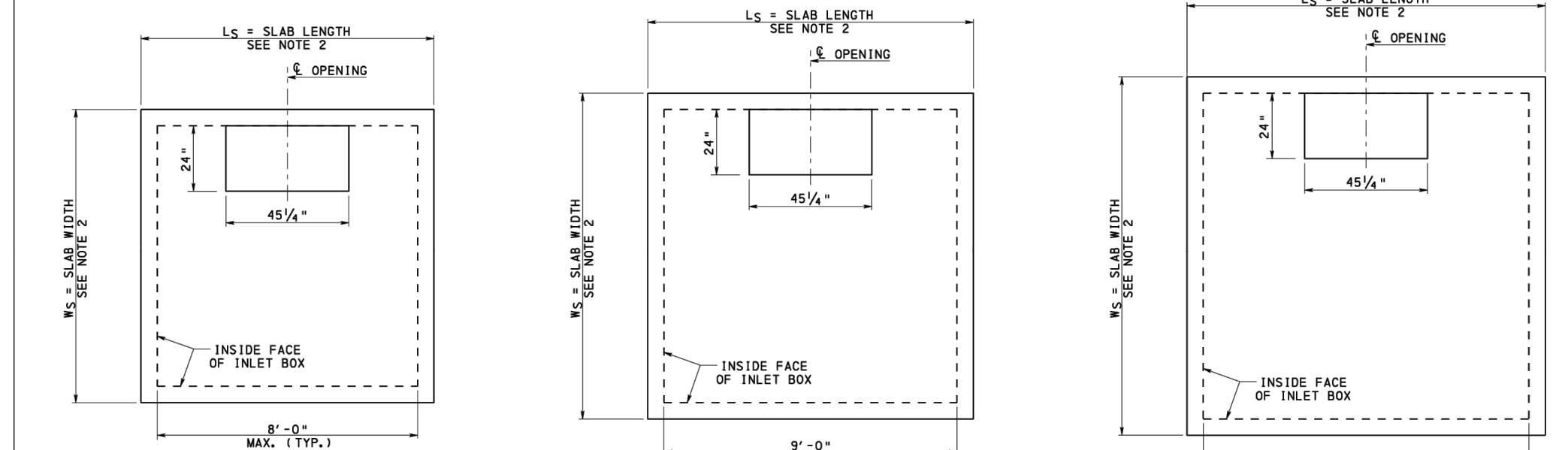


FOR TYPE 4 INLET BOX

FOR TYPE 5 INLET BOX

FOR TYPE 6 INLET BOX

FOR TYPE 7 INLET BOX

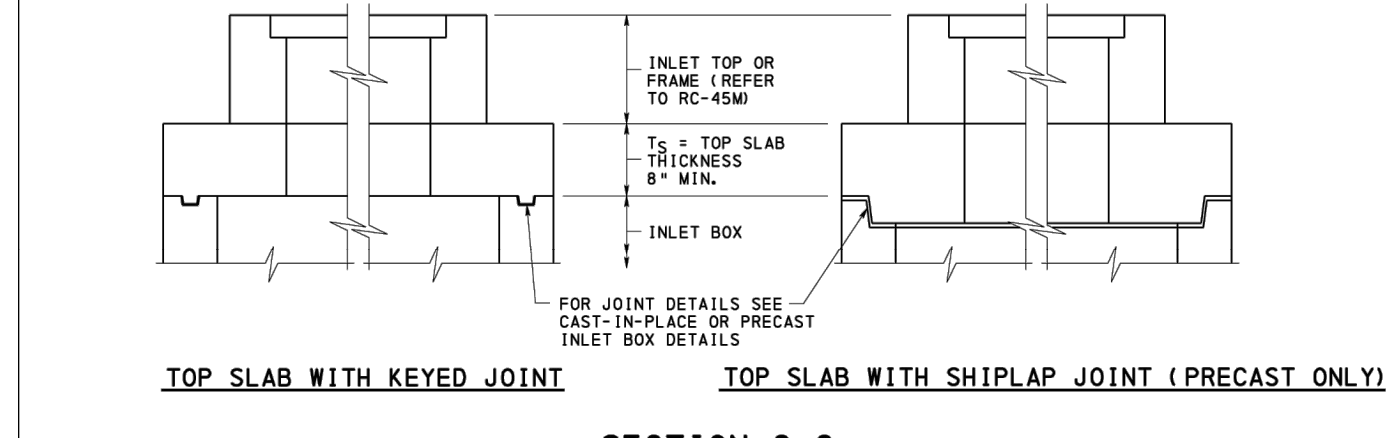


FOR TYPE 8 INLET BOX

FOR TYPE 9 INLET BOX

FOR TYPE 10 INLET BOX

PLAN - TOP SLABS  
(WITH STANDARD OPENING)



SECTION C-C  
(TYPICAL)

NOTES: GRADE ADJUSTMENT RINGS NOT SHOWN

- NOTES:**
- FOR ADDITIONAL NOTES, SEE SHEETS 1 - 3.
  - OUT TO OUT DIMENSIONS OF TOP SLABS TO MATCH SIZE OF INLET BOX.
  - SET EDGE OF OPENING AT INSIDE FACE OF INLET BOX FOR ACCESS, IF POSSIBLE.
  - FOR SECTION D-D AND REINFORCEMENT REQUIREMENTS, SEE SHEET 6.
  - FOR ADDITIONAL REINFORCEMENT AROUND OPENINGS, SEE SHEETS 9 & 10.

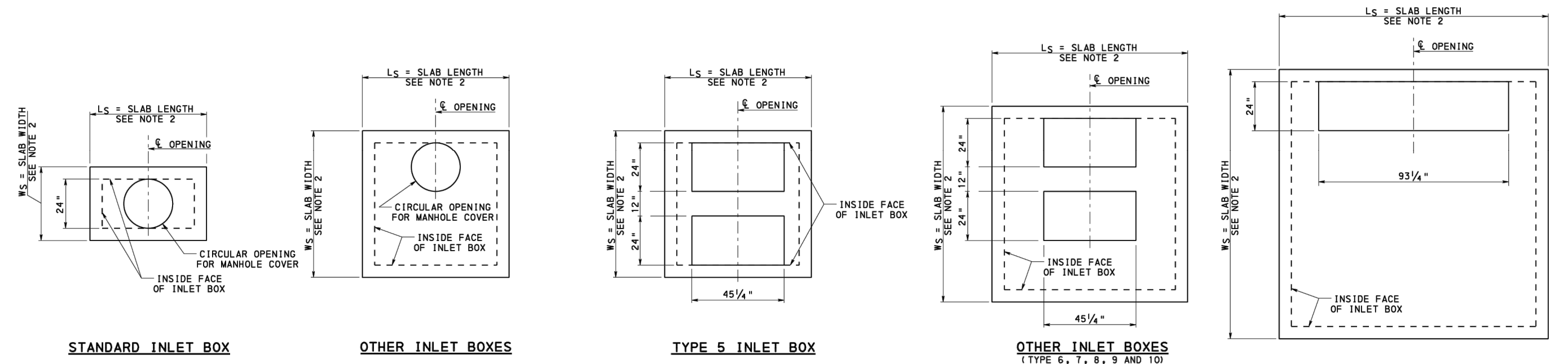
COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF TRANSPORTATION  
BUREAU OF PROJECT DELIVERY

INLET BOXES  
TOP SLABS - 1

RECOMMENDED FEB. 19, 2021  
CHIEF, INV. DELIVERY DIVISION

RECOMMENDED FEB. 19, 2021  
DIRECTOR, BUREAU OF PROJECT DELIVERY

SHT 7 OF 34  
RC-46M



STANDARD INLET BOX

OTHER INLET BOXES

TYPE 5 INLET BOX

OTHER INLET BOXES  
(TYPE 6, 7, 8, 9 AND 10)

PLAN - TOP SLAB WITH  
OPTIONAL ROUND OPENING  
FOR MANHOLE COVER

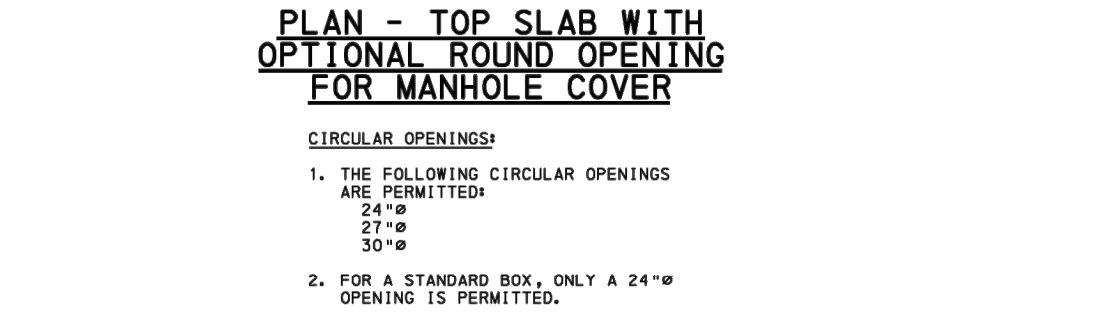
- CIRCULAR OPENINGS:**
- THE FOLLOWING CIRCULAR OPENINGS ARE PERMITTED:
    - 24"Ø
    - 27"Ø
    - 30"Ø  - FOR A STANDARD BOX, ONLY A 24"Ø OPENING IS PERMITTED.

PLAN - TOP SLAB  
FOR DOUBLE TYPE M  
CONCRETE TOP UNITS

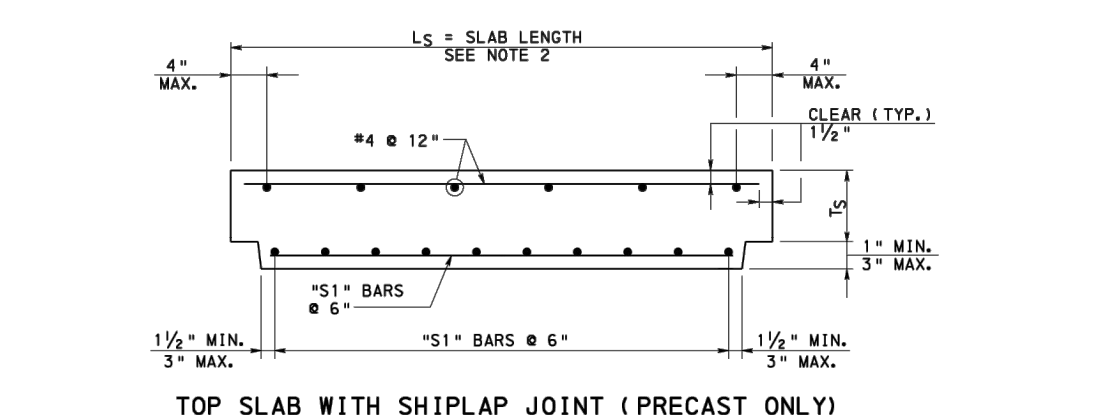
NOT APPLICABLE FOR STANDARD OR TYPE 4 INLET BOXES

PLAN - TOP SLAB  
FOR TYPE D-H  
CONCRETE TOP UNITS

FOR TYPES 8, 9 OR 10 INLET BOXES ONLY



TOP SLAB WITH KEYED JOINT



TOP SLAB WITH SHI LAP JOINT (PRECAST ONLY)

SECTION D-D  
(ADDITIONAL REINFORCEMENT NOT SHOWN)

**TOP SLAB CAST-IN-PLACE CONCRETE**

INLET BOX TYPE	Ts (IN.)	S1 (BAR SIZE)
STANDARD	9	#6
TYPE 4	12	#7
TYPE 5	14	#8
TYPE 6	14	#8
TYPE 7	14	#8
TYPE 8	14	#9
TYPE 9	14	#9
TYPE 10	14	#9

**TOP SLAB PRECAST CONCRETE**

INLET BOX TYPE	Ts (IN.)	S1 (BAR SIZE)
STANDARD	9	#6
TYPE 4	10	#8
TYPE 5	12	#9
TYPE 6	12	#9
TYPE 7	14	#9
TYPE 8	14	#9
TYPE 9	14	#9
TYPE 10	14	#9

- NOTES:**
- FOR ADDITIONAL NOTES, SEE SHEETS 1 - 3.
  - OUT TO OUT DIMENSIONS OF TOP SLABS TO MATCH SIZE OF INLET BOX.
  - SET EDGE OF OPENING AT INSIDE FACE OF INLET BOX FOR ACCESS, IF POSSIBLE.
  - FOR ADDITIONAL REINFORCEMENT AROUND OPENINGS, SEE SHEETS 9 & 10.
  - FOR JOINT DETAILS, SEE SHEETS 13 OR 20.
  - ANY REINFORCEMENT BARS LESS THAN 6" IN LENGTH, DUE TO THE LOCATION OF THE OPENING, ARE NOT REQUIRED.

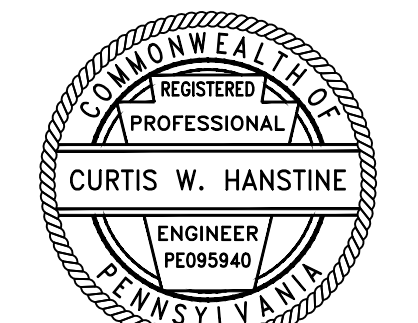
COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF TRANSPORTATION  
BUREAU OF PROJECT DELIVERY

INLET BOXES  
TOP SLABS - 2

RECOMMENDED FEB. 19, 2021  
CHIEF, INV. DELIVERY DIVISION

RECOMMENDED FEB. 19, 2021  
DIRECTOR, BUREAU OF PROJECT DELIVERY

SHT 8 OF 34  
RC-46M



Curtis W. Hanstine  
ISSUED FOR PERMIT  
07/26/2024

ISSUE DATE	SCALE	N.T.S.	CTR. INT.
07/26/2024			
SURVEYED BY	CEC/DEI	CWH	
DRAWN BY	DEI	CWH	
REV	DATE	DESCRIPTION	
		DWN BY (DES BY) CHK BY APP BY	



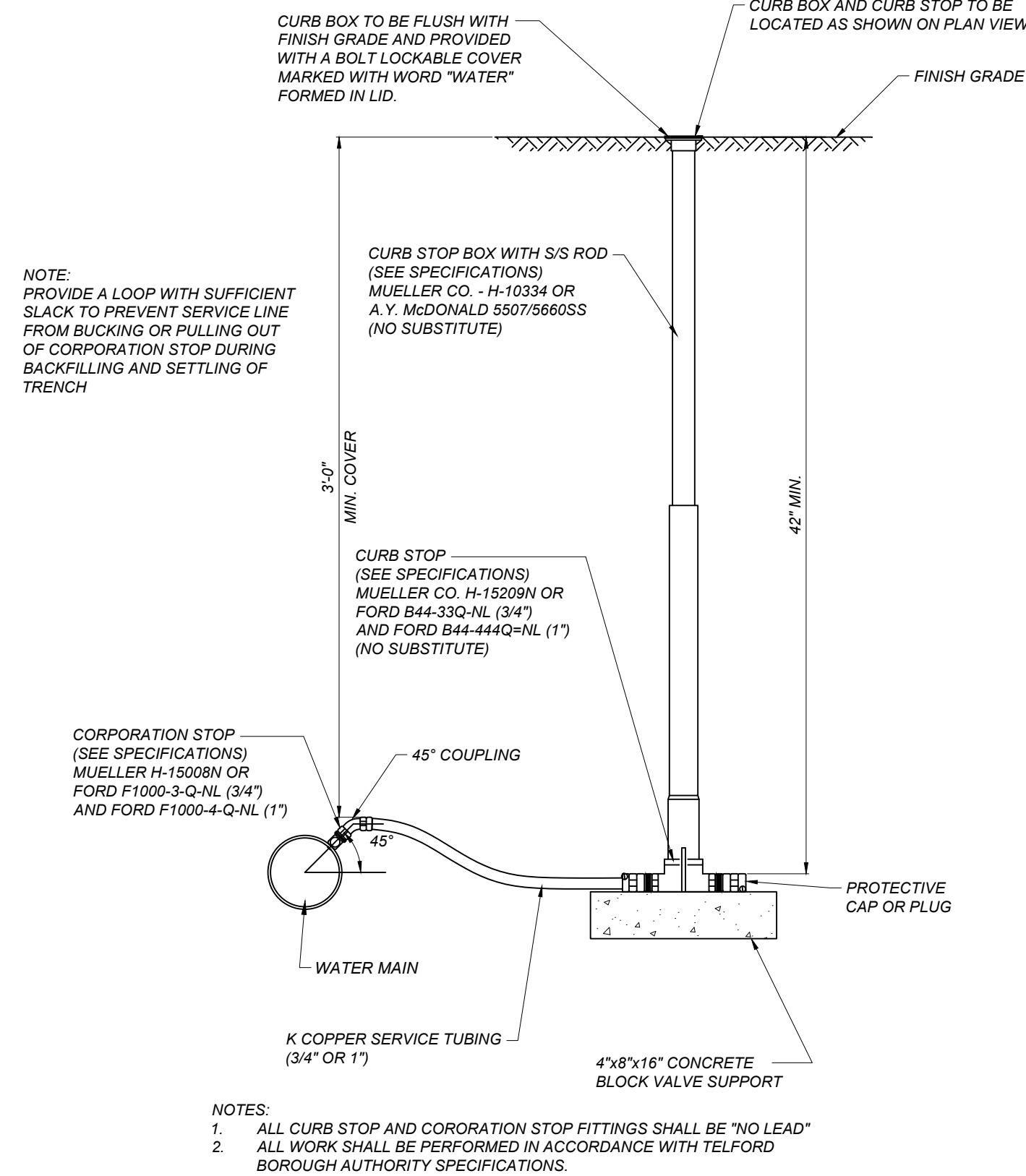
**PROJECT:** FACILITY EXPANSION  
4622 BETHLEHEM PIKE, TELFORD, PA 18969

**SHEET TITLE:** STORM SEWER DETAILS

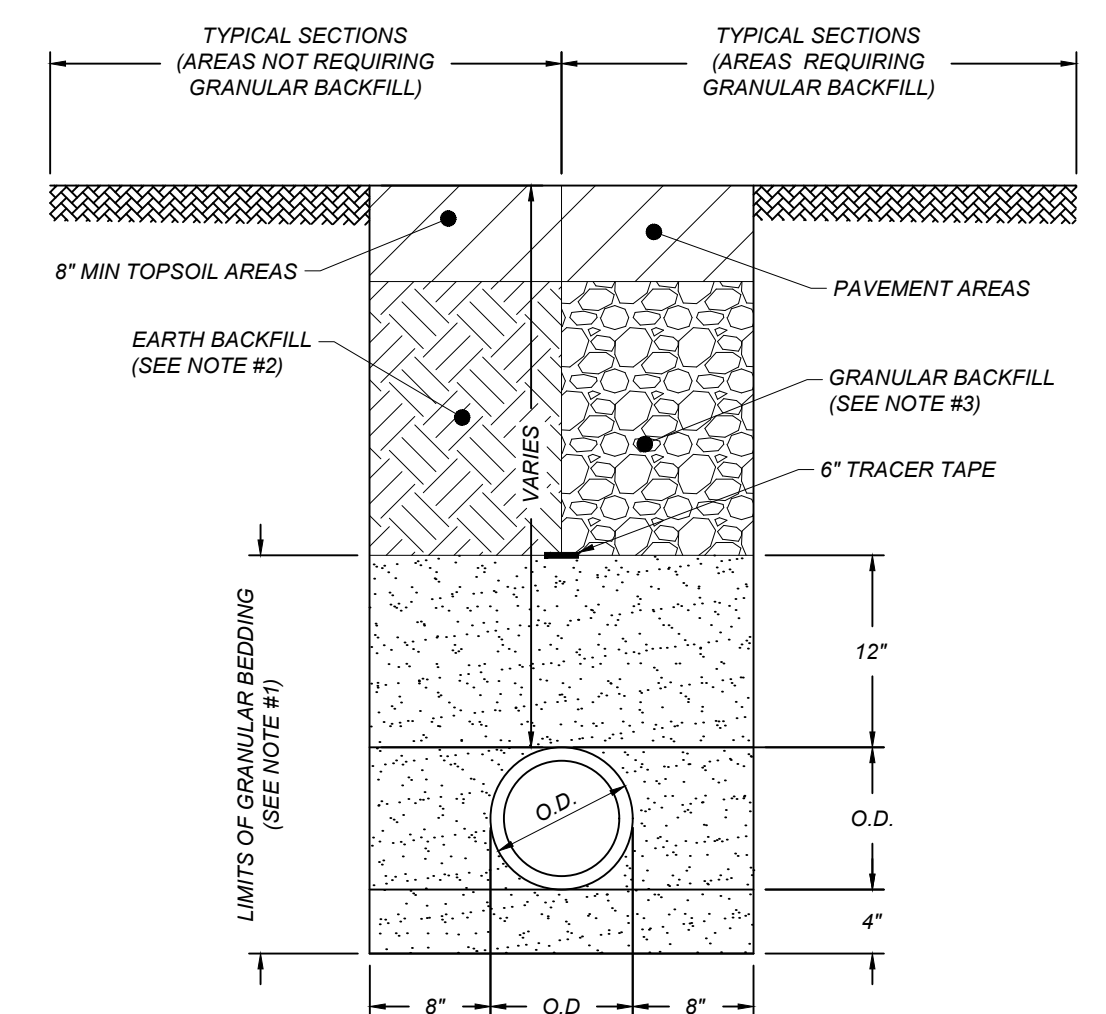
SHEET NO:  
11 OF 19

**C8.1**

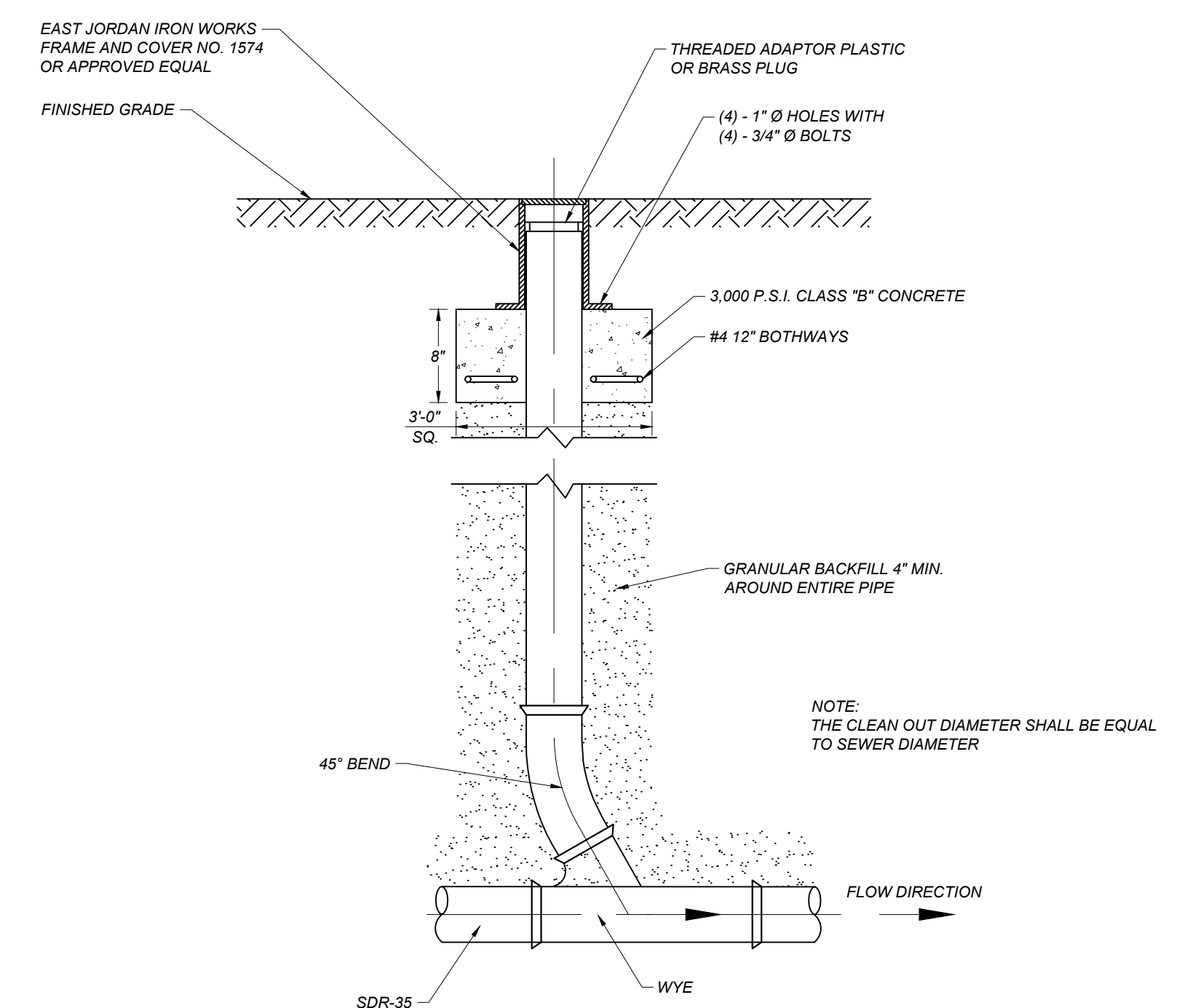
JOB NO:  
ENG-1857



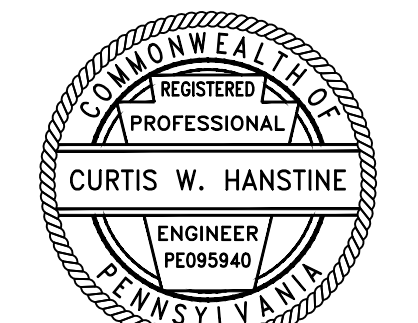
**TYPICAL 3/4" AND 1" SERVICE LINE AND SERVICE STOP SETTING**  
**DETAIL 1**  
 SCALE: NOT TO SCALE **C9.0**



**PIPE BEDDING / BACKFILL DETAIL FOR ALL FLEXIBLE SEWER & WATER PIPE**  
**DETAIL 2**  
 SCALE: NOT TO SCALE **C9.0**



**TYPICAL CLEAN OUT**  
**DETAIL 3**  
 SCALE: NOT TO SCALE **C9.0**



*Curtis W. Hanstine*

ISSUED FOR PERMIT  
07/26/2024

ISSUE DATE	SCALE	N.T.S.	CTR INT.
07/26/2024			

ISSUED BY	CHECKED BY	DATE	DESCRIPTION

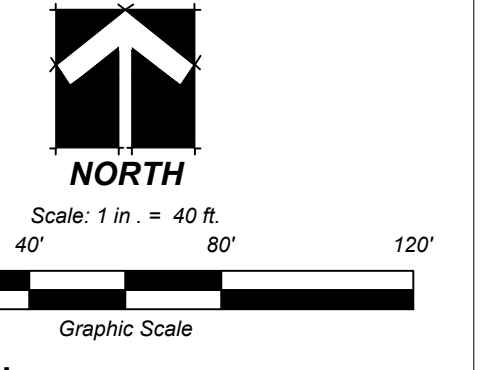
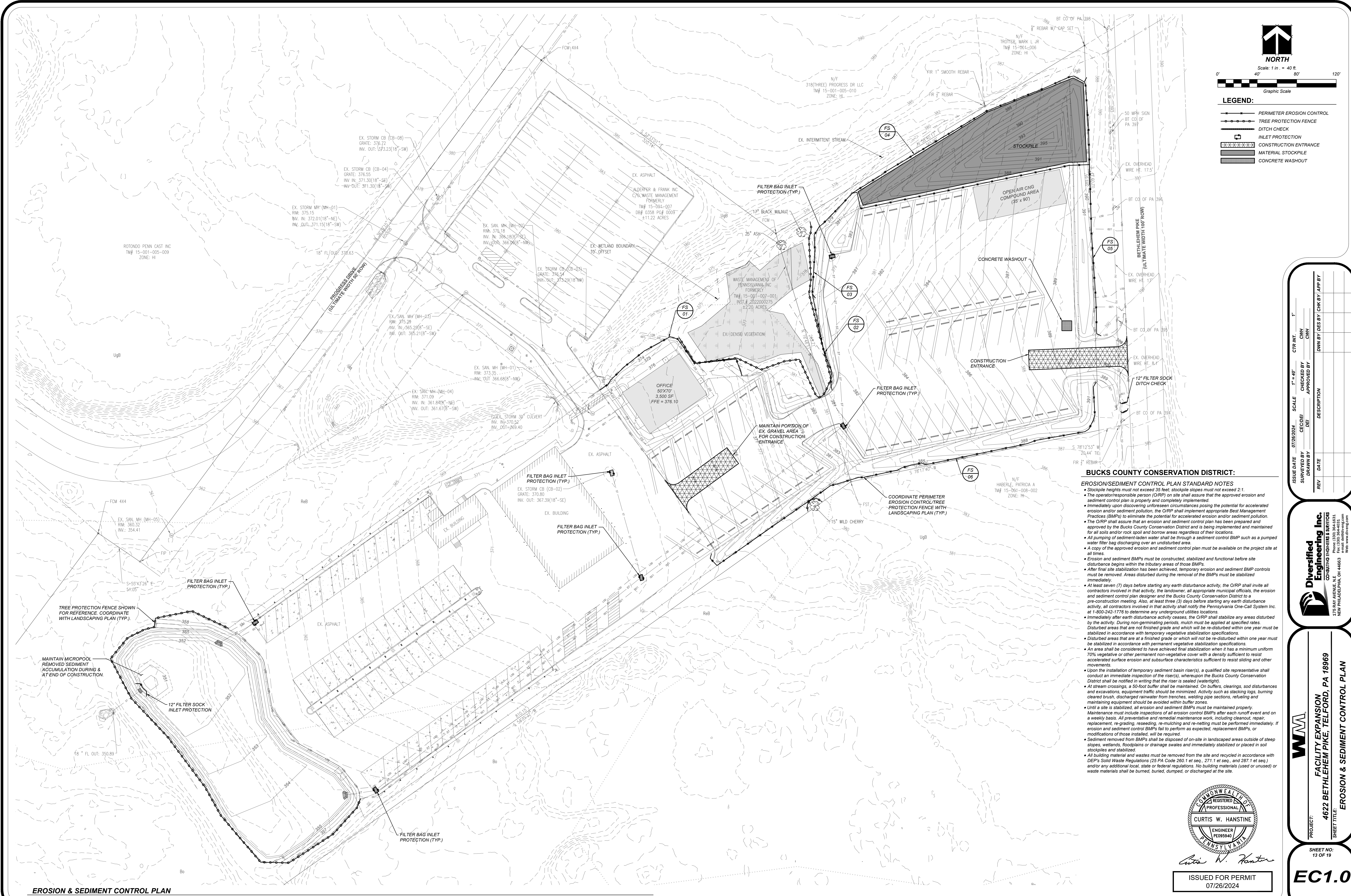
**Diversified Engineering Inc.**  
 CONSULTING ENGINEERS & ARCHITECTS  
 175 BAY AVENUE, NE  
 NEW PHILADELPHIA, OH 44663  
 Phone: (330) 364-4363  
 Fax: (330) 364-4031  
 Web: www.denginc.com

**WM**  
 PROJECT: **FACILITY EXPANSION**  
**4622 BETHLEHEM PIKE, Telford, PA 18969**  
 SHEET TITLE: **UTILITY DETAILS**

SHEET NO:  
12 OF 19  
**C9.0**  
 JOB NO:  
ENG-1857

2:10/20/2024 10:40:00 AM C:\Users\jhanstine\OneDrive\Documents\CAD\DWG\1857.dwg (1857.dwg) Plot: 2024/07/26/2024 10:40:00 AM





- LEGEND:**
- PERIMETER EROSION CONTROL
  - TREE PROTECTION FENCE
  - DITCH CHECK
  - INLET PROTECTION
  - ▨ CONSTRUCTION ENTRANCE
  - ▩ MATERIAL STOCKPILE
  - ▧ CONCRETE WASHOUT

**BUCKS COUNTY CONSERVATION DISTRICT:**

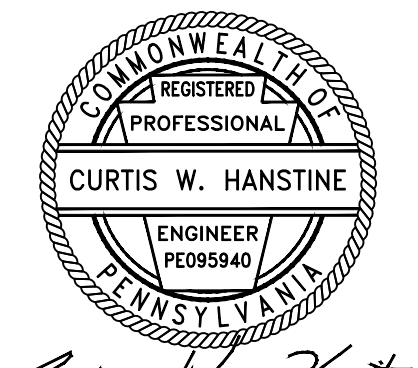
**EROSION/SEDIMENT CONTROL PLAN STANDARD NOTES**

- Stockpile heights must not exceed 35 feet; stockpile slopes must not exceed 2:1.
- The operator/responsible person (ORP) on site shall assure that the approved erosion and sediment control plan is properly and completely implemented.
- Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the ORP shall implement appropriate Best Management Practices (BMPs) to eliminate the potential for accelerated erosion and/or sediment pollution.
- The ORP shall assure that an erosion and sediment control plan has been prepared and approved by the Bucks County Conservation District and is being implemented and maintained for all soils and/or rock spoil and borrow areas regardless of their locations.
- All pumping of sediment-laden water shall be through a sediment control BMP such as a pumped water filter bag discharging over an undisturbed area.
- A copy of the approved erosion and sediment control plan must be available on the project site at all times.
- Erosion and sediment BMPs must be constructed, stabilized and functional before site disturbance begins within the tributary areas of those BMPs.
- After final site stabilization has been achieved, temporary erosion and sediment BMP controls must be removed. Areas disturbed during the removal of the BMPs must be stabilized immediately.
- At least seven (7) days before starting any earth disturbance activity, the ORP shall invite all contractors involved in that activity, the landowner, all appropriate municipal officials, the erosion and sediment control plan designer and the Bucks County Conservation District to a pre-construction meeting. Also, at least three (3) days before starting any earth disturbance activity, all contractors involved in that activity shall notify the Pennsylvania One-Call System Inc. at 1-800-242-1776 to determine any underground utilities locations.
- Immediately after earth disturbance activity ceases, the ORP shall stabilize any areas disturbed by the activity. During non-germinating periods, mulch must be applied at specified rates. Disturbed areas that are not finished grade and which will be re-disturbed within one year must be stabilized in accordance with temporary vegetative stabilization specifications.
- Disturbed areas that are at a finished grade and which will not be re-disturbed within one year must be stabilized in accordance with permanent vegetative stabilization specifications.
- An area shall be considered to have achieved final stabilization when it has a minimum uniform 70% vegetative or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements.
- Upon the installation of temporary sediment basin riser(s), a qualified site representative shall conduct an immediate inspection of the riser(s), whereupon the Bucks County Conservation District shall be notified in writing that the riser is sealed (watertight).
- At stream crossings, a 50-foot buffer shall be maintained. On buffers, clearings, sod disturbances and excavations, equipment traffic should be minimized. Activity such as stacking logs, burning cleared brush, discharged rainwater from trenches, welding pipe sections, refueling and maintaining equipment should be avoided within buffer zones.
- Until a site is stabilized, all erosion and sediment BMPs must be maintained properly. Maintenance must include inspections of all erosion control BMPs after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including cleanup, repair, replacement, re-grading, re-seeding, re-mulching and re-netting must be performed immediately. If erosion and sediment control BMPs fail to perform as expected, replacement BMPs, or modifications of those installed, will be required.
- Sediment removed from BMPs shall be disposed of on-site in landscaped areas outside of steep slopes, wetlands, roadways or drainage swales and immediately stabilized or placed in soil stockpiles and stabilized.
- All building material and wastes must be removed from the site and recycled in accordance with DEP's Solid Waste Regulations (25 PA Code 260.1 et seq., 271.1 et seq., and 287.1 et seq.) and/or any additional local, state or federal regulations. No building materials (used or unused) or waste materials shall be burned, buried, dumped, or discharged at the site.

ISSUE DATE	SCALE	1" = 40'	DATE	DESCRIPTION
07/26/2024	CEC/DEI	1" = 40'	07/26/2024	CEC/DEI
	CEC/DEI	1" = 40'		CEC/DEI
	CEC/DEI	1" = 40'		CEC/DEI
	CEC/DEI	1" = 40'		CEC/DEI
	CEC/DEI	1" = 40'		CEC/DEI

**Diversified Engineering Inc.**  
 CONSULTING ENGINEERS & ARCHITECTS  
 178 BAY AVENUE, NE  
 NEW PHILADELPHIA, OH 44663  
 Phone: (330) 364-3833  
 Fax: (330) 364-4031  
 Web: www.dveng.com

**WM**  
 PROJECT: **FACILITY EXPANSION**  
**4622 BETHLEHEM PIKE, TELFORD, PA 18969**  
 SHEET TITLE: **EROSION & SEDIMENT CONTROL PLAN**



*Curtis W. Hanstine*  
 ISSUED FOR PERMIT  
 07/26/2024

**EROSION & SEDIMENT CONTROL PLAN**  
 SCALE: 1" = 40'

SHEET NO:  
13 OF 19

**EC1.0**

JOB NO:  
ENG-1857







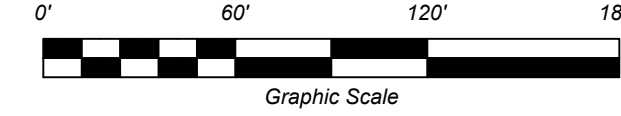






NORTH

Scale: 1 in. = 60 ft.



LEGEND:

- WETLAND BOUNDARY, PER CEC
- WETLAND BOUNDARY 10' OFFSET
- LIMITS OF DISTURBANCE
- PERIMETER FENCE
- BUFFER YARD
- ASPHALT PAVEMENT

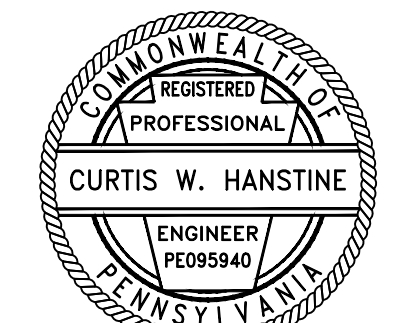
GENERAL NOTES:

Aerial via Google, Imagery date 09/08/2022.

ISSUE DATE	SCALE	1" = 60'	DATE	DESCRIPTION
07/26/2024	1" = 60'			

**Diversified Engineering Inc.**  
 CONSULTING ENGINEERS & ARCHITECTS  
 1726 BAY AVENUE, SUITE 200  
 NEW PHILADELPHIA, OH 44663  
 Phone: (330) 364-4833  
 Fax: (330) 364-4031  
 Web: www.denginc.com

**WM**  
 PROJECT: FACILITY EXPANSION  
 4622 BETHLEHEM PIKE, TELFORD, PA 18969  
 SHEET TITLE: AERIAL PHOTOGRAPHY PLAN



*Curtis W. Hanstine*

ISSUED FOR PERMIT  
07/26/2024

SHEET NO:  
19 OF 19

**X2.0**

JOB NO:  
ENG-1857

AERIAL PHOTOGRAPHY PLAN  
SCALE: 1" = 60'





## HILLTOWN TOWNSHIP

13 West Creamery Road

P.O. Box 260

Hilltown, PA 18927

(215) 453-6000 Fax: (215) 453-1024

www.hilltown.org

**MEMORANDUM**

**September 3, 2024**

---

**To:** Board of Supervisors  
**From:** Caitlin M. Mest, EIT, BCO, CFM, CZO  
**RE:** 237 Mill Rd – Variance

---

**Applicant:** Dana Hillerby

**Affected Property:** 237 Mill Rd - TMP # 15-022-184

**Zoning District(s):** RR – Rural Residential

**Requested Action:** Applicant is requesting a variance to place an accessory structure located in the front yard.

**Summary:** Applicant requests a detached garage in the front yard; whereas, accessory structures are not permitted in the front yard.

**Requested Variance:** *ZO §160-23I.(2)(a)[4]. Residential Accessory Structures and Uses.*

**cc:** File



**HILLTOWN TOWNSHIP**  
 13 West Creamery Road  
 P.O. Box 260  
 Hilltown, PA 18927  
 (215) 453-6000 Fax: (215) 453-1024  
 www.hilltown.org

AUG 27 2024

**APPEAL TO ZONING HEARING BOARD**  
**HILLTOWN TOWNSHIP**

*Please note: It is **required** that all applicants make an application for a Subdivision/Land Development and/or apply for a **Zoning Permit** and receive a **review** from the Township prior to submitting an application to the Zoning Hearing Board.*

<b>TOWNSHIP USE:</b>	
Appeal #:	<u>2024-008</u>
Date Filed:	<u>9-3-2024</u>
Received By:	<u>VR</u>

**PLEASE COMPLETE ALL SECTIONS OF THE APPLICATION**

**PLEASE ATTACH ALL REQUESTED DOCUMENTATION. FAILURE TO COMPLETE ALL SECTIONS OR ATTACH ALL REQUESTED DOCUMENTATION MAY RESULT IN A DENIAL OF YOUR APPLICATION. YOUR INITIALS BELOW INDICATE THAT YOU HAVE A COMPLETE UNDERSTANDING OF THE SAME.**

**THE TOWNSHIP WILL NOT ACCEPT APPLICATIONS UNLESS INITIALED BELOW.**

  
 \_\_\_\_\_  
 Initials

Date: 8-26-24

1. Applicant:

- a. Name: Dore Hillerby
- b. Mailing Address: 237 Mill Rd  
Hotfield Pa 19440
- c. Phone Number: 215-284-5341 Email: dhillerby@verizon.net
- d. State whether the Applicant is: (Check one or more if applicable)
  - Owner of Legal Title
  - Owner of Equitable Title
  - Tenant with the Permission of Legal Title

2. Applicant's Attorney: (if any)

- a. Attorney's and Firm Name: \_\_\_\_\_
- b. Mailing Address: \_\_\_\_\_  
 \_\_\_\_\_
- c. Phone Number: \_\_\_\_\_ Fax No.: \_\_\_\_\_
- d. Email Address: \_\_\_\_\_

240549



HILLTOWN TOWNSHIP  
ZONING AND BUILDING DEPARTMENT

3. Property Information:

- a. Present Zoning Use Classification: Detached single family dwelling
- b. Tax Parcel Number: 15-022-184
- c. Location: (with reference to nearby intersections or prominent features):  
Near Mill Rd & Park Rd intersection

4. Present Use: Detached single family dwelling

5. Proposed Use:(if different) \_\_\_\_\_

6. Classification of Appeal: (Check one or more if applicable)

- A. Request for a Variance (Zoning Ordinance §160-104.A)
- B. Request for Special Exception (Zoning Ordinance §160-104.B)
- C. Interpretation of Law
- D. Appeal from action of the Zoning Officer (Attach all related correspondence)
- E. Other (Please specify)

7. Cite Zoning Ordinance sections applicable to, and summarize, relief request:

(§160-23.I(2)(a)[4], Hilltown Township Zoning Ordinance) No part or portion of any residential accessory structure is permitted within the front yard; whereas, the proposed detached garage is located in the front yard.

8. Have any previous appeals been filed regarding this property: \_\_\_\_\_ Yes  No

a. If yes, please explain: \_\_\_\_\_

b. Prior Appeal Number: \_\_\_\_\_

I (We) hereby certify that the above information is true and correct to the best of my (our) knowledge, information or belief.

Name: [Signature] Date: 8-27-24

Name: \_\_\_\_\_ Date: \_\_\_\_\_



**BUCKS COUNTY RECORDER OF DEEDS**

55 East Court Street  
Doylestown, Pennsylvania 18901  
(215) 348-6209

Instrument Number - 2013025532

Recorded On 3/27/2013 At 12:51:59 PM

\* Total Pages - 5

\* Instrument Type - DEED

Invoice Number - 579044 User - SMC

\* Grantor - DEUTSCHE BK NATL TR CO

\* Grantee - HILLERBY, DANA J

\* Customer - TERRA ABSTRACT INC

\* FEES

STATE TRANSFER TAX	\$1,502.99
RECORDING FEES	\$65.00
PENNRIDGE SCHOOL	\$751.50
DISTRICT REALTY TAX	
HILLTOWN TOWNSHIP	\$751.49
TOTAL PAID	\$3,070.98

Bucks County UPI Certification  
On March 27, 2013 By TF

This is a certification page

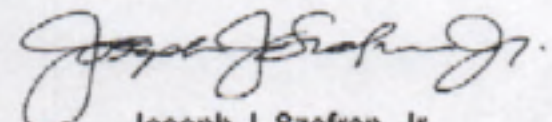
**DO NOT DETACH**

This page is now part  
of this legal document.

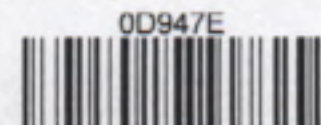
RETURN DOCUMENT TO:  
TERRA ABSTRACT INC

I hereby CERTIFY that this document is  
recorded in the Recorder of Deeds Office  
of Bucks County, Pennsylvania.



  
Joseph J. Szafran, Jr.  
Recorder of Deeds

\* - Information denoted by an asterisk may change during  
the verification process and may not be reflected on this page.





RECEIVED

2013 MAR 27 A 9:39

BUCKS COUNTY  
RECORDER OF DEEDS

**Prepared by:**  
Terra Abstract, Inc.  
261 Old York Road  
The Pavilion, Suite 509  
Jenkintown, PA 19046

**Return to:**  
Terra Abstract, Inc.  
261 Old York Road  
The Pavilion, Suite 509  
Jenkintown, PA 19046

File No. TL13-044

Parcel ID No. 15-22-184

This Indenture, made the 14 day of March 2013  
Between

**DEUTSCHE BANK NATIONAL TRUST COMPANY, TRUSTEE AND  
CUSTODIAN NATIXIS REAL ESTATE CAPITAL TRUST 2007-HE  
MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2007-HE2 BY ITS  
ATTORNEY-IN-FACT OCWEN LOAN SERVICING, LLC  
POWER OF ATTORNEY SIMULTANEOUSLY RECORDED HEREWITH**

(hereinafter called the Grantor), of the one part, and

**DANA J. HILLERBY AND THERESA HILLERBY**

(hereinafter called the Grantees), of the other part,

Witnesseth, that the said Grantor for and in consideration of the sum of **One Hundred Fifty Thousand Two Hundred Ninety-Nine and 00/100 Dollars (\$150,299.00)** lawful money of the United States of America, unto it well and truly paid by the said Grantees, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted, bargained and sold, released and confirmed, and by these presents does grant, bargain and sell, release and confirm unto the said Grantees, as tenants by the entirety

**ALL THAT CERTAIN** tract of land, with the messuage thereon erected, situate in the Township of Hilltown, County of Bucks, State of Pennsylvania, bounded and described according to plan and survey made by Stanley F. Moyer, R.S., dated August 12, 1939, as follows:



**BEGINNING** at an iron pin set in the center of a public road, thirty-three feet wide (known as Smith or Seitz Road), leading to Hilltown, a corner of this and land now or line of Philip Peace; thence across said public road a distance of sixteen and five-tenths feet to an iron pin, thence across said iron pin along land now or late of Philip Peace North forty-six degrees West, three hundred thirty-four and nineteen hundredths feet to an iron pin, a corner of this and land now or late of Sadie S. Waite; thence along said land now or late of Sadie S. Waite, North forty-four degrees fifty minutes East, three hundred forty two feet to an iron pin, a corner of this and other lands now or late of said Sadie S. Waite (known as Tract #2 on said plan and survey); thence along said other land now or late of Sadie S. Waite (Tract #2 as aforesaid), South forty-five degrees fifty-two minutes East, three hundred six and thirty-six hundredths feet across an iron pin (set at a distance of sixteen and five-tenths feet from an iron pin in the center of said public road) to an iron pin set in the center of the aforementioned public road; thence along the center of the said public road South forty degrees ten minutes West three hundred forty-two feet to the place of beginning.

**UNDER AND SUBJECT** to Restrictions as of record.

**TAX PARCEL #15-22-184**

**PROPERTY ADDRESS: 237 MILL ROAD, HATFIELD, PA 19440**

**BEING** the same premises which Edward J. Donnelly, Sheriff of the County of Bucks, by Deed Poll dated December 31, 2010 and recorded January 5, 2011 in the Office of the Recorder of Deeds in and for Bucks County in Deed Book 6615 Page 1255, as Instrument Number 2011001769, granted and conveyed unto Deutsche Bank National Trust Company, Trustee and Custodian Natixis Real Estate Capital Trust 2007-HE Mortgage Pass-Through Certificates, Series 2007-HE2.

**TOGETHER** with all and singular the buildings and improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in anywise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of it, the said grantor, as well at law as in equity, of, in and to the same.

**TO HAVE AND TO HOLD** the said lot or piece of ground described above, with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns, to and for the only proper use and behoof of the said Grantees, their heirs and assigns, forever.

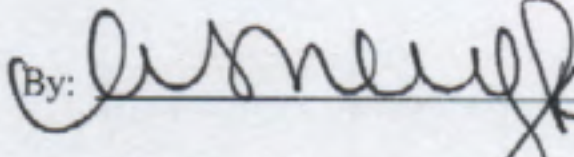
**AND** the said Grantor, for itself and its successors, does, by these presents, covenant, grant and agree, to and with the said Grantees, their heirs and assigns, that it, the said Grantor, and its successors and assigns, all and singular the hereditaments and premises herein described and granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns, against it, the said Grantor, and its successors and assigns, will warrant and defend against the lawful claims of all persons claiming by, through or under the said Grantor but not otherwise.



In Witness Whereof, the party of the first part has hereunto set their hands and seal.  
Dated the day and year first above written.

Sealed and Delivered  
IN THE PRESENCE OF US:

DEUTSCHE BANK NATIONAL  
TRUST COMPANY, TRUSTEE AND  
CUSTODIAN NATIXIS REAL  
ESTATE CAPITAL TRUST 2007-HE  
MORTGAGE PASS-THROUGH  
CERTIFICATES, SERIES 2007-HE2  
BY ITS ATTORNEY-IN-FACT  
OCWEN LOAN SERVICING, LLC  
POWER OF ATTORNEY SIMULTANEOUSLY  
RECORDED HEREWITH

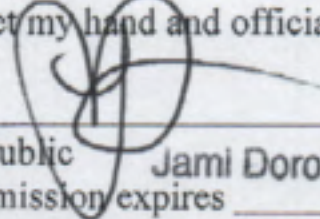
By:  Ashley Kessler  
Title: Contract Management Coordinator

STATE OF Florida ss  
COUNTY OF Palm Beach

AND NOW, this 14 day of March, 2013, before  
me, the undersigned Notary Public, appeared Ashley Kessler who  
acknowledged himself/herself to be the Contract Management Coordinator  
SERVICING, LLC ATTORNEY-IN-FACT FOR DEUTSCHE BANK NATIONAL  
TRUST COMPANY, TRUSTEE AND CUSTODIAN NATIXIS REAL ESTATE  
CAPITAL TRUST 2007-HE MORTGAGE PASS-THROUGH CERTIFICATES,  
SERIES 2007-HE2 POWER OF ATTORNEY SIMULTANEOUSLY RECORDED  
HEREWITH, Delaware, LLC a corporation, and he/she as such officer being  
authorized to do so, executed the foregoing instrument for the purposes therein contained  
by signing the name of the corporation by himself/herself as such officer.

IN WITNESS WHEREOF, I hereunder set my hand and official seal.

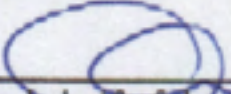
NOTARY PUBLIC-STATE OF FLORIDA  
 Jami Dorobiala  
Commission #DD878994  
Expires: APR. 08, 2013  
BONDED THRU ATLANTIC BONDING CO., INC.

  
Notary Public Jami Dorobiala  
My commission expires 4/8/2013



The address of the above-named Grantees is:

105 Carroll Avenue  
Glenside PA 19038

  
On behalf of the Grantees

File No. TL13-044

Record and return to:  
**Terra Abstract, Inc.**  
**The Pavilion**  
261 Old York Road, Suite 509  
Jenkintown, PA 19046-3722



**HILLTOWN TOWNSHIP**  
13 West Creamery Road  
P.O. Box 260  
Hilltown, PA 18927  
(215) 453-6000 Fax: (215) 453-1024  
www.hilltown.org

AUG 27 2024

August 22, 2024

Dana Hillerby  
237 Mill Rd  
Hatfield, PA 19440

RE: 237 Mill Rd – Detached Accessory Structure

Dear Mr. Hillerby:

This letter is to notify you that your application for 237 Mill Rd (TMP 15-022-184) in the RR zoning district has been denied at this time. The permit application has been denied due to the following reason(s).

- (§160-23.I(2)(a)[4], Hilltown Township Zoning Ordinance) No part or portion of any residential accessory structure is permitted within the front yard; whereas, the proposed detached garage is located in the front yard.

You may modify the application to comply with the zoning ordinance or you may appeal the decision to the Hilltown Township Zoning Hearing Board (ZHB.)

Please note that once any information is received and reviewed, additional comments may be forthcoming during the plan review process.

If you should have any questions at this time, please feel free to contact me.

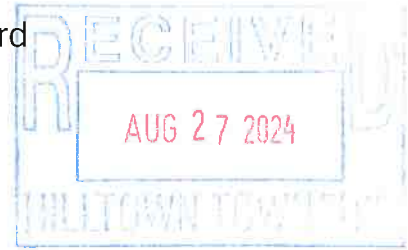
Sincerely,

A handwritten signature in black ink, appearing to read "Caitlin M. Mest".

Caitlin M. Mest, EIT, BCO, CFM, CZO  
Hilltown Township Zoning Officer  
BuildingandZoning@hilltown.org



Appeal to Zoning Hearing Board

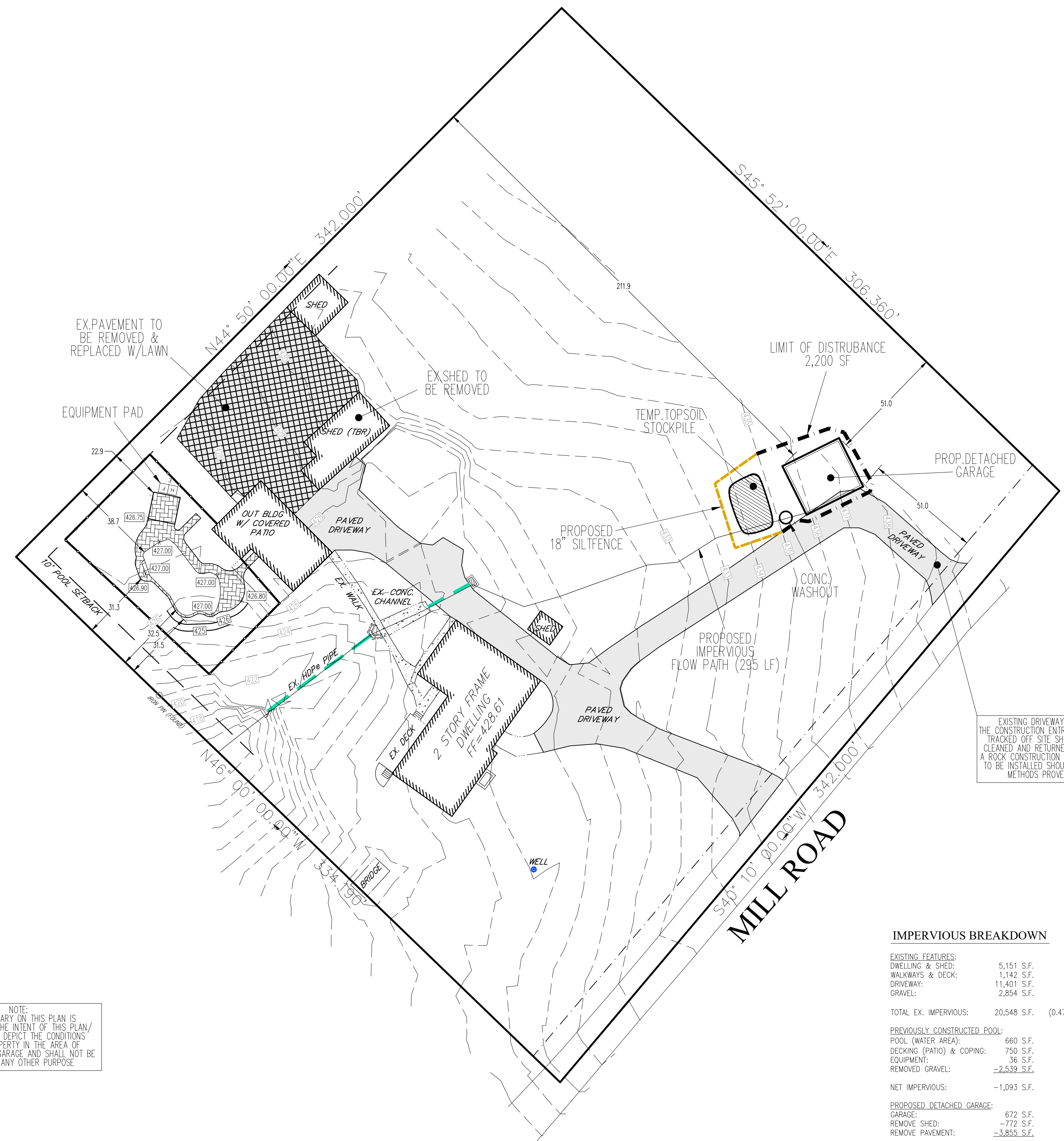
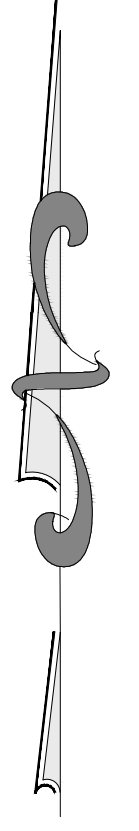


Dana Hillerby

237 Mill Rd

1. Applied to build a detached garage on my property SIDE yard.
2. This application was denied due to considering the location part of front yard.
3. The property frontage is 342 feet.
4. The house, front and back yard is about 1 acre. The SIDE yard where the proposed garage is to be is about 2 acres.
5. The proposed garage is 50 feet from the road and 143 feet from the house.
6. There is already a paved driveway to the proposed location.
7. The house and the proposed garage cannot be seen together due to distance and tree growth.
8. There are two properties on the street that have garages in the front yard area that have been built within the last couple of years.





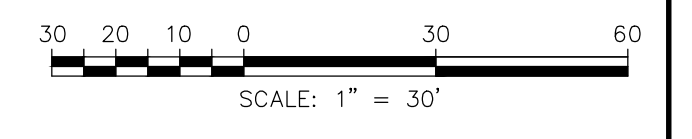
NRCS SOILS MAP N.T.S. USGS LOCATION MAP N.T.S.

SOILS LEGEND AND TABLE OF LIMITATIONS & RESOLUTIONS BASED ON U.S.D.A. - N.R.C.S. SOILS SURVEY

SYMBOL	MAPPING UNITS	SLOPE	LAND CAPABILITY	HYDRIC SOIL	HYDROLOGIC GROUP	LIMITATIONS FOR SITE DEVELOPMENT		
						DEPTH TO BEDROCK	DEWELLINGS WITH BASEMENTS	DRAINAGE CLASS
AbB	ABBOTTSTOWN SILT LOAM	3-8%	3w	NO	D	44-60 ft.	VERY LIMITED DEPTH TO SATURATED	SOMEWHAT POORLY DRAINED
DdA	DOYLESTOWN SILT LOAM	0-3%	4w	YES	C/D	60-72 ft.	VERY LIMITED DEPTH TO SATURATED	POORLY DRAINED

RESOLUTIONS:

- CUT BANKS CAVE, EASILY ERODABLE, LANDSLIDE PRONE - STABILIZE ANY CUT AND FILL SLOPES IMMEDIATELY. INSPECT CUT AND FILL SLOPE AFTER EACH RAIN EVENT AND REPAIR AS NEEDED.
- FROST ACTION - DURING WINTER MONTHS, THE CONTRACTOR SHALL NOT GRADE THESE SOILS DURING FROSTING OR ICING CONDITIONS. IF GRADING IS NECESSARY, STABILIZE IMMEDIATELY.
- HIGH WATER TABLE, HYDRIC INCLUSION, WETNESS - CONTRACTOR SHALL KEEP A PUMP AND FILTER BAG ON SITE WHEN EXCAVATING. ANY PUMPED WATER SHALL DISCHARGE VIA A FILTER BAG.
- PIPING - AVOID RUNNING HEAVY EQUIPMENT OVER THE SOIL AFTER A RAINFALL EVENT.
- SLOW PERCOLATION - INFILTRATION TESTING TO BE PERFORMED FOR ANY INFILTRATION PRACTICE PROPOSED.



GENERAL NOTES

- OWNER/APPLICANT: DANA J. HILLERBY, 237 MILL RD, HATFIELD, PA 19440
- TOPOGRAPHY AND NEIGHBORING PHYSICAL FEATURES DERIVED FROM A FIELD SURVEY IN MAY 2019. BOUNDARY INFORMATION SHOWN HEREON IS BASED ON THE DEED AND EVIDENCE FOUND IN THE FIELD.
- THERE IS A STREAM ON THIS PROPERTY AT THE WESTERN PROPERTY LINE FROM THE DISCHARGE POINT OF THE EXISTING PIPE TO THE PROPERTY LINE. THERE IS EVIDENCE OF WETLANDS WITHIN THE FRONT YARD OF THIS PROPERTY.
- THE PRIMARY EMP UTILIZED TO CONTROL SEDIMENT RUNOFF IS 18" SILT FENCING. THE SILT FENCE ON SITE HAS BEEN DESIGNED TO HANDLE THE RUNOFF FROM THIS PROPERTY.
- THERE ARE NO NATURALLY OCCURRING GEOLOGIC FORMATIONS OR SOIL CONDITIONS THAT MAY HAVE POTENTIAL TO CAUSE POLLUTION.
- THIS SITE IS NOT WITHIN A KARST ENVIRONMENT AND IS NOT IN DANGER OF ENCOUNTERING A SINK HOLE.
- THE PREVIOUS LAND USE DOES NOT INDICATE THAT THERE MAY BE A POTENTIAL FOR POLLUTION. THE PROPERTY IS CURRENTLY A SINGLE FAMILY RESIDENTIAL DWELLING.
- THIS PROJECT PROPOSES TO CONSTRUCT A DETACHED GARAGE. THE PROJECT PROPOSES A NET REDUCTION IN IMPERVIOUS SURFACE (WHEN CREEKS FROM PREVIOUS REMOVAL ARE APPLIED) THEREFORE REDUCING THE THERMAL IMPACT TO ANY DOWNSTREAM HABITAT.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR ANY/ALL CERTIFICATIONS, INSPECTIONS, ETC. REQUIRED BY ALL GOVERNING JURISDICTIONAL AGENCIES DURING AND AFTER CONSTRUCTION FOR SIGN-OFF AND CERTIFICATE OF OCCUPANCY ISSUANCE, INCLUDING BUT NOT LIMITED TO PROCUREMENT OF SERVICES, SCHEDULING OF FIELD OBSERVATIONS AND COORDINATION WITH REPRESENTATIVES OF THE APPROPRIATE PARTIES. CONTRACTOR IS RESPONSIBLE TO COORDINATE CERTIFICATIONS, SIGN-OFFS, ETC. NECESSARY FOR JOB CLOSOUT AND ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO OUR OFFICE AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY OUR OFFICE IF ACTUAL SITE CONDITIONS DIFFER FROM THAT SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER SITE FEATURES.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWNSHIP, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES.
- THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURE, ETC. TO REMAIN.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, CURBS, ETC. REPAIR SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE NOTIFY CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
- ALL DISTURBED TOPSOIL ON SITE IS TO BE REDISTRIBUTED ON SITE IN AREAS NOT COVERED BY IMPERVIOUS SURFACES. NO REMOVAL OF TOPSOIL FROM A SITE IS ALLOWED UNLESS APPROVED BY THE TOWNSHIP.
- THE EROSION AND SEDIMENTATION CONTROL PLAN HAS BEEN PREPARED BY BRIAN D. SPRAY, PE. MR. SPRAY HAS BEEN PREPARING EROSION AND SEDIMENTATION CONTROL PLANS SINCE 1998.

IMPERVIOUS BREAKDOWN

EXISTING FEATURES:		
DWELLING & SHED:	5,151 S.F.	
WALKWAYS & DECK:	1,142 S.F.	
DRIVEWAY:	11,401 S.F.	
GRAVEL:	2,854 S.F.	
<b>TOTAL EX. IMPERVIOUS:</b>	<b>20,548 S.F.</b>	<b>(0.472 AC)</b>
PREVIOUSLY CONSTRUCTED POOL:		
POOL (WATER AREA):	660 S.F.	
DECKING (PATIO) & COPING:	750 S.F.	
EQUIPMENT:	36 S.F.	
REMOVED GRAVEL:	-2,539 S.F.	
<b>NET IMPERVIOUS:</b>	<b>-1,093 S.F.</b>	
PROPOSED DETACHED GARAGE:		
GARAGE:	672 S.F.	
REMOVE SHED:	-772 S.F.	
REMOVE PAVEMENT:	-3,855 S.F.	
<b>NET IMPERVIOUS:</b>	<b>-3,955 S.F.</b>	
<b>FINAL IMPERVIOUS:</b>	<b>15,500 S.F.</b>	<b>(0.356 AC)</b>
LOT AREA:	109,404 S.F.	(2,511 AC)
% OF IMPERVIOUS:	14.2%	

STORMWATER NOTES

- THIS PROJECT PROPOSES LESS THAN 1,000 SF OF IMPERVIOUS SURFACE. WHEN COMBINED WITH THE CONSTRUCTION OF THE POOL 5 YEARS AGO, THE APPLICANT HAS CONSTRUCTED OVER 1,000 SF OF IMPERVIOUS SINCE THE INCEPTION OF THE ORDINANCE. HOWEVER THE PROJECT IS EXEMPT FROM STORMWATER MANAGEMENT DUE TO THE FOLLOWING:
  - THE TOTAL SITE IS 2.5 ACRES AND THE FLOW PATH FOR THE IMPERVIOUS SURFACE TO THE PROPERTY LINE EXCEEDS THE ORDINANCE REQUIRED 50 LF.
  - WITH THE REMOVAL OF THE EXISTING GRAVEL (DURING THE POOL PROJECT), THERE IS STILL A NET REDUCTION IN IMPERVIOUS SURFACE.

NOTE: THE BOUNDARY ON THIS PLAN IS APPROXIMATE. THE INTENT OF THIS PLAN/SURVEY IS TO DEPICT THE CONDITIONS OF THE PROPERTY IN THE AREA OF THE PROPOSED GARAGE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE.

EXISTING DRIVEWAY TO BE USED AS THE CONSTRUCTION ENTRANCE. ANY SEDIMENT TRACKED OFF SITE SHALL BE IMMEDIATELY CLEANED AND RETURNED TO PROJECT SITE. A ROCK CONSTRUCTION ENTRANCE WILL NEED TO BE INSTALLED SHOULD OTHER CLEANING METHODS PROVE INEFFECTIVE.

FLOOD NOTE: By graphic plotting only, this property is located in ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN) of the Flood Insurance Rate Map, Map No. 420170040B, which bears a preliminary date of MARCH 16, 2015. By telephone you can call the National Flood Insurance Program at (1-800-638-6620) to learn if this community currently participate in the program. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

PROPOSED LEGEND

LINE TYPE	DESCRIPTION	LINE TYPE	DESCRIPTION
(Symbol)	TREE PROTECTION FENCING	(Symbol)	PROPOSED CONTOURS
(Symbol)	PROP FENCE	(Symbol)	LIMIT OF DISTURBANCE
(Symbol)	SILT FENCE (18")	(Symbol)	SOIL STOCKPILE

EXISTING LEGEND

LINE TYPE	DESCRIPTION	LINE TYPE	DESCRIPTION
(Symbol)	EDGE OF PAVED ROAD	(Symbol)	ELECTRIC
(Symbol)	EDGE OF UNPAVED ROAD	(Symbol)	OVER HEAD WIRE
(Symbol)	ADJOINING PROPERTY LINES	(Symbol)	UNDER GROUND WIRE
(Symbol)	TRACT BOUNDARY	(Symbol)	TELEPHONE
(Symbol)	BUILDING SETBACK LINE	(Symbol)	CABLE TELEVISION
(Symbol)	CENTERLINE OF ROADS	(Symbol)	CONCRETE WALLS
(Symbol)	EASEMENT	(Symbol)	WATERS OF THE US
(Symbol)	FENCE	(Symbol)	WETLAND DELINEATION
(Symbol)	FEMA FLOOD PLAN	(Symbol)	FLAG IDENTIFIERS
(Symbol)	GRADE RAIL	(Symbol)	SOIL SURVEY LINE
(Symbol)	RIGHT-OF-WAY	(Symbol)	TOWNSHIP/MUNICIPAL LINES
(Symbol)	STREAM	(Symbol)	INTERMEDIATE CONTOURS
(Symbol)	TRAIL	(Symbol)	INDEX CONTOURS
(Symbol)	GAS	(Symbol)	WOODS LINE

SYMBOLS & DESCRIPTIONS

(Symbol)	DECIDUOUS TREE	(Symbol)	WELL
(Symbol)	EVERGREEN TREE	(Symbol)	FIRE HYDRANT
(Symbol)	STORM SEWER PIPE	(Symbol)	MANHOLE
(Symbol)	WATER PIPE	(Symbol)	PILET
(Symbol)	UTILITY POLE	(Symbol)	FOUND
(Symbol)	FIRE SERVICE	(Symbol)	IRON PIN (FOUND)

\* SLANTED TEXT DENOTES EXISTING.

PENNSYLVANIA ONE CALL SYSTEM, INC.  
925 Irwin Run Road  
West Mifflin, Pennsylvania  
15122 - 1076

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776  
NON-MEMBERS MUST BE CONTACTED DIRECTLY  
PA LAW REQUIRES THREE WORKING DAYS  
NOTICE TO UTILITIES BEFORE YOU EXCAVATE,  
DRILL, BLAST OR DEMOLISH

INTEGRATED ENGINEERING, LLC  
HILLERBY RESIDENCE GARAGE PLOT PLAN  
516 TRIMBLE LN. LANGHORNE, PA 19047; PHONE: 717-534-1200

PROJECT: HILLERBY TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA

PLAN: GARAGE PLOT PLAN

DATE: 8/4/2024 SCALE (H): 1" = 30' (V):  
GROSS AREA: 2,511 AC TAX MAP NUMBER: 15-022-184  
MUNICIPAL FILE # PROJECT No: 24-9006 OF 2

DESIGNED BY: B.D.S. SHEET NO: 1  
DRAWN BY: B.D.S. OF 2

B. D. SPRAY  
REGISTERED PROFESSIONAL ENGINEER  
NEW YORK STATE LICENSE NO. 10800  
NEW YORK STATE LICENSE NO. 10800



**GENERAL CONSERVATION NOTES AND SPECIFICATIONS**

- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INWRITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE F&M PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE F&M PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-241-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS SPECIFIED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATIONS SHOWN ON THE PLAN MAPS(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2601 ET SEQ., 2711, AND 2871 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-100 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM LOTS.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RAINFALL EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, MULCHING AND REINFORCING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPAIRMENT BMPs, OR MODIFICATIONS TO THOSE INSTALLED WILL BE REQUIRED.
- A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DEPOSITED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE DRAGGED, SHOVELLED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
- AREAS WHICH ARE NOT TO BE SEEDING SHALL BE COVERED TO A MINIMUM DEPTH OF 3 TO 5 INCHES OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOIL, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR DELAY CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- DEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE SEEDING AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS DURING NON-GERMINATING MONTHS. MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM 10% PERENNIAL, 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE DURING THE GERMINATING SEASON.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
- FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING IMPOSED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA WATER AND SEWERAGE LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER RESOURCES.
- ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILL, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIAL/WASTES.
- UNDERGROUND UTILITIES CUTTING THROUGH ANY ACTIVE CHANNEL SHALL BE IMMEDIATELY BACKFILLED AND THE CHANNEL RESTORED TO ITS ORIGINAL CROSS-SECTION AND PROTECTIVE LINING. ANY BASE FLOW WITHIN THE CHANNEL SHALL BE CONVEYED PAST THE WORK AREA IN THE MANNER DESCRIBED IN THIS PLAN UNTIL SUCH RESTORATION IS COMPLETE.
- CHANNELS HAVING BRIDGES, ROAD MATRESSES, OR GABION LININGS MUST BE SUFFICIENTLY OVER-EXCAVATED SO THAT THE DESIGN DIMENSIONS WILL BE PROVIDED AFTER PLACEMENT OF THE PROTECTIVE LINING.
- SEDIMENT BASINS AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASH WATER, AND OTHER DEBRIS HAVING POTENTIAL TO CLOG THE BASIN/TRAP/OUTLET STRUCTURES AND/OR POLLUTE THE SURFACE WATERS.
- SEDIMENT BASINS SHALL BE PROTECTED FROM UNAUTHORIZED ACCESS BY THIRD PARTIES.
- ANY DAMAGE THAT OCCURS AS A RESULT OF BASIN OR TRAP CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED BY THE PERMITTEE IN A PERMANENT MANNER SATISFACTORY TO THE MUNICIPALITY, LOCAL CONSERVATION DISTRICT, AND THE OWNER OF THE DAMAGED PROPERTY.
- UPON REQUEST, THE APPLICANT OR HIS CONTRACTOR SHALL PROVIDE AN AS-BUILT (RECORD DRAWING) FOR ANY SEDIMENT BASIN OR TRAP TO THE MUNICIPAL INSPECTOR, LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 2H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
- FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROCKS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED TO A MINIMUM 12" LAYERED LIFTS AT 90% DENSITY

**SEQUENCE OF CONSTRUCTION**

- NOTE: ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE AND FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
- AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES THE OPERATOR SHALL INWRITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING, BUT NOT LIMITED TO THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS AND A REPRESENTATIVE FROM THE COUNTY CONSERVATION DISTRICT FOR AN ON-SITE PRE-CONSTRUCTION MEETING.
  - A PHONE CALL MUST BE MADE THREE (3) DAYS PRIOR TO ANY EARTH MOVING ACTIVES AS PER STATE LAW.
  - STAKE THE LIMIT OF DISTURBANCE AS SHOWN ON THE PLAN.
  - INSTALL THE SILT FENCE AS SHOWN ON THE PLAN.
  - AREAS PROPOSED FOR INFILTRATION BMPs SHALL BE PROTECTED FROM SEDIMENTATION AND COMPACTION DURING THE CONSTRUCTION PHASE SO AS TO MAINTAIN THEIR MAXIMUM INFILTRATION CAPACITY.
  - STRIP THE TOPSOIL IN THE AREA OF THE PROPOSED POOL AND STOCKPILE WHERE SHOWN. STABILIZE IMMEDIATELY.
  - CESSATION OF ACTIVITY FOR 4 DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION.
  - CONSTRUCT THE GARAGE AS PER PLAN. STABILIZE IMMEDIATELY.
  - RE-SPREAD TOPSOIL. STABILIZE IMMEDIATELY.
  - AFTER INSPECTION AND APPROVAL BY THE CONSERVATION DISTRICT, THE EROSION AND SEDIMENT CONTROLS (SILT FENCE) MAY BE REMOVED. ANY AREAS DISTURBED DURING THE REMOVAL OF SAID CONTROLS SHALL BE STABILIZED IMMEDIATELY.

NOTE: AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

**CONSERVATION NOTES AND SPECIFICATIONS**

- I. GENERAL INFORMATION**
- THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE AVAILABLE AT THE SITE.
  - NO SEDIMENT OR SEDIMENT LADEN WATER MUST BE ALLOWED TO LEAK THE SITE WITHOUT FIRST BEING PROPERLY FILTERED.
  - ANY SEDIMENT THAT IS TRACKED ONTO THE ROAD MUST BE CLEANED OFF BEFORE THE END OF THE DAY.
  - DISTURBED AREAS ON WHICH EARTHWORK ACTIVITIES HAVE CEASED AND WHICH WILL REMAIN EXPOSED SHALL BE STABILIZED IMMEDIATELY EITHER TEMPORARILY OR PERMANENTLY, INCLUDING THE RESTORATION OF DRAINWAYS, STOCKPILES, OFF-SITE UNDERGROUND UTILITY LINES AND GRAZED FERMETER AREAS. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT RECOMMENDED RATES. CRUSHED STONE ON PAVEMENT SURFACES IS CONSIDERED ADEQUATE PROTECTION.
  - AREAS THAT FAIL TO GERMINATE MUST BE RESEED OR MULCHED.
  - WHERE DISTURBED AREAS ARE DIFFICULT TO STABILIZE, NETTING SHOULD BE USED TO HOLD SEED AND MULCH IN PLACE. THIS IS ESPECIALLY IMPORTANT AROUND WATERBODIES, IN SHADES AND AREAS OF CONCENTRATED FLOOD, STEEP SLOPES.
  - UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL AFTER EACH RAINFALL EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, MULCHING, AND REINFORCING MUST BE PERFORMED IMMEDIATELY.
  - IF AT ANY TIME PRIOR TO SITE STABILIZATION ANY E&S PROBLEMS OCCUR WHICH REQUIRE ADDITIONAL CONTROLS, IMMEDIATE ACTION MUST BE TAKEN TO CORRECT THE PROBLEMS.
  - THE CONTRACTOR MUST DEVELOP AND COORDINATE WITH OWNERS AND HAVE APPROVED BY THE COUNTY CONSERVATION DISTRICT, A SEPARATE EROSION AND SEDIMENT POLLUTION CONTROL PLAN FOR EACH SLOPE, BORROW OR OTHER WORK AREA NOT DETAILED ON THE PERMITTED PLANS, WHETHER LOCATED WITHIN OR OUTSIDE OF THE LIMITS OF CONSTRUCTION.
  - CONTRACTOR SHALL NOTIFY THE COUNTY CONSERVATION DISTRICT OF DISPOSAL METHOD AND LOCATION OF MATERIALS (IF ANY) TO BE REMOVED FROM SITE.
  - STANDARD FOR DISPOSAL OF MATERIALS:
    - CONSTRUCTION WASTE MATERIALS SHALL BE RECYCLED WHERE FEASIBLE.
    - ALL REMAINING MATERIALS TO BE DISPOSED OF MUST DO SO IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
    - STOCKPILES TO BE HAULED OFF SITE MUST HAVE AN APPROVED EROSION AND SEDIMENT CONTROL PLAN AT THE DESTINATION LOCATION.
- II. STANDARD FOR LAND GRADING**
- DEFINITION: RESHAPING THE GROUND SURFACE BY GRADING TO PLAN GRASSES, WHICH ARE DETERMINED BY TOPOGRAPHIC SURVEY AND LAYOUT. PROVISIONS SHALL BE MADE TO SAFELY CONDUCT SURFACE WATER TO STORM DRAINS OR SUITABLE WATER COURSES AND TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FILL SLOPES.
  - ADJOINING PROPERTY SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS.
- B. INSTALLATION REQUIREMENTS**
- TIMBER, LOGS, BRUSH, RUBBER LOGS, STUMPS AND VEGETABLE MATTER WHICH WILL INTERFERE WITH THE GRADING OPERATION OR AFFECT THE PLANNED STABILITY OR FILL AREAS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH STANDARD FOR DISPOSAL OF MATERIALS.
  - FILL MATERIALS IS TO BE FREE OF BRUSH, RUBBER, TIMBER, LOGS, VEGETATIVE MATTER AND STUMPS IN AMOUNTS THAT WILL BE DETRIMENTAL TO CONSTRUCTING STABLE FILLS.
  - ALL FILLS SHALL BE COMPACTED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SLIPPAGE, EROSION OR EXCESS SATURATION.
  - ALL DISTURBED AREAS SHALL BE LEFT WITH A NEAT AND FINISHED APPEARANCE AND SHALL BE PROTECTED FROM EROSION.
  - (SEE I. D.)
- III. STANDARD FOR UTILITY TRENCH EXCAVATION**
- LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
  - LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUS INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY. DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR A MAX. OF 90 DAYS FOR CERTAIN CASES REQUIRING TESTING OF THE INSTALLED PIPE.
  - WATER, WHICH ACCUMULATES IN THE TRENCH MAY BE COMPLETELY REMOVED BY PUMPING TO A FACILITY FOR REMOVAL OF SEDIMENT (SEDIMENT FILTER BAG, SEE DETAIL) BEFORE PIPE PLACING BEGINS.
  - ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES / FACILITIES WILL BE INSTALLED. SEEDING AND MULCHING OF ALL DISTURBED AREAS WILL BE DONE IMMEDIATELY.
- IV. STANDARD FOR TEMPORARY STABILIZATION**
- STANDARD FOR TEMPORARY STABILIZATION WITH MULCH
    - MULCHING IS MOST APPLICABLE TO THOSE AREAS SUBJECT TO PERIODIC DISTURBANCE AND REWORKING. IN ADDITION, STABILIZATION WITH MULCH SHALL BE USED DURING NON-GERMINATING PERIODS.
    - PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO SLOPE.
    - GRADE AS NEED AND FEASIBLE. SEE STANDARD FOR LAND GRADING.
    - PROTECTIVE MATERIALS TO BE USED:
      - UNROTTED SMALL-GRAIN STRAW OR HAY AT 3.0 TONS PER ACRE SPREAD UNIFORMLY AT 135 POUNDS PER 1000 SQUARE FEET AND ANCHORED WITH LIQUID MULCH BINDER OR
      - WOOD-FIBER OR PAPER-FIBER MULCH AT A RATE OF 1500 POUNDS PER ACRE MAY BE APPLIED BY A HYDROSEEDER OR HYDROMULCHER. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL. LIQUID MULCH BINDERS: APPLY IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. IF UNDESIRABLE SPERMATOPHYTES (SOS-1, SOS-11, CMC-2, WFS-2, WS-1, WS-1-1 AND SOS-2), APPLY 0.04 GAL./SQ. FT. OR 194 CAL./ACRE ON FLAT SLOPES LESS THAN 8° SLOPE, OR SLOPES 8° OR MORE HIGH USE 0.075 GAL./SQ. FT. OR 383 CAL./ACRE.
  - STANDARD FOR TEMPORARY STABILIZATION WITH SEED
    - DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE, WHICH WILL BE RESTORED WITHIN ONE YEAR MUST BE SEEDED AND MULCHED IMMEDIATELY WITH A TEMPORARY COVER.
    - SEEDING PREPARATION:
      - PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO SLOPE.
      - APPLY GROUND LIMESTON.
- V. STANDARD FOR PERMANENT STABILIZATION**
- SPECIFICATION FOR SEEDING & SOIL TREATMENT FOR PERMANENT VEGETATIVE COVER
    - SITE PREPARATION
      - GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDING PREPARATION, SEEDING, MULCH APPLICATION AND ANCHORING, AND MAINTENANCE.
      - SUBSOIL SHOULD BE TESTED FOR LIMB REQUIREMENT AND LIMESTONE, IF NEEDED, SHOULD BE APPLIED TO BRING SOIL PH TO 6.5 AND INCORPORATED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES.
      - IMMEDIATELY PRIOR TO TOPSOIL DISTRIBUTION, THE SURFACE SHOULD BE SCARIFIED TO PROVIDE A GOOD BOND WITH THE TOPSOIL.
    - APPLYING TOPSOIL
      - TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE.
      - ALL DISTURBED TOPSOIL ON SITE IS TO BE REDEPOSITED ON SITE IN AREAS NOT COVERED BY MINOR SURFACES. NO REMOVAL OF TOPSOIL IS ALLOWED UNLESS PROCEEDURE BY THE TOWNSHIP. A UNIFORM APPLICATION TO A DEPTH OF 6 INCHES (UNTESTED) IS RECOMMENDED. SOILS WITH A PH OF 4.0 OR LESS OR CONTAINING ROCK SHADE SHOULD BE COVERED WITH A MINIMUM DEPTH OF 12 INCHES OF SOIL HAVING A PH OF 5.0 OR MORE.
    - SEEDING PREPARATION
      - PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO SLOPE.
      - APPLY 10-20-10 OR EQUIVALENT RATED FERTILIZER AT A RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1000 SQUARE FEET.
      - APPLY 500 POUNDS 38-0-0 PER ACRE OR EQUIVALENT OF SLOW RELEASE NITROGEN.
      - APPLY PULVERIZED DOLOMITIC LIMESTONE AT A RATE OF 1/3 TONS PER ACRES OR 135 POUNDS PER 1000 SQUARE FEET.
      - WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM THE SEEDING IS PREPARED.
      - REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION, REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS OR OTHER UNSTABLE MATERIAL.
      - INSPECT SEEDING JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE REILLED AND FIRMED AS ABOVE.
    - SEEDING
      - SEED MIXTURE PERMANENT: 30 LBS EACH KENTUCKY - 31 TALL FESCUE KENTUCKY BLUEGRASS (LOW MAINTENANCE VARIETY) SPREADING FESCUE SEEDING DATES: 3/1 TO 5/15, 8/15 TO 10/1
      - APPLY SEED UNIFORMLY. NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2". HYDROSEEDING (INCLUDING FERTILIZER AND SEED IN A SLURRY FORM), WHICH ARE MULCHED, MAY BE LEFT ON THE SOIL SURFACE. SOIL CONSERVATION DISTRICT CAN REQUIRE SPECIFIC TECHNIQUES FOR HYDROSEEDING AND/OR HYDROMULCHING IN AREAS WITH DROUGHTY CONDITIONS. FOR MULCHING REQUIREMENTS SEE STANDARD FOR STABILIZATION WITH MULCH. PROTECTIVE MATERIALS TO BE USED.
    - IRRIGATION - (WHERE FEASIBLE)
      - IF SOIL MOISTURE IS DEFICIENT AND MULCH IS NOT USED, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER, A MINIMUM OF 1/4" TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED, ESPECIALLY WHEN SEEDING IS PERFORMED IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.
  - STANDARD FOR PERMANENT STABILIZATION WITH SOIL
    - METHODS AND MATERIALS
      - CULTIVATED SOIL IS PREFERRED OVER NATIVE OR PASTURE SOIL. SPECIFY "CERTIFIED SOIL" OR OTHER HIGH QUALITY CULTIVATED SOIL.
      - SOIL SHOULD BE FREE OF WEEDS AND UNDESIRABLE COARSE WEEDY GRASSES.
      - SOIL SHOULD BE OF UNIFORM THICKNESS, APPROXIMATELY 5/8" INCH, PLUS OR MINUS 1/4" INCH, AT TIME OF CUTTING. (EXCLUDES TOP GROWTH).
      - SOIL SHOULD BE UNIFORM AND DENSE AND BE ABLE TO RETAIN ITS OWN SHAPE AND WEIGHT WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP FROM THE UPPER END OF THE STRIP. BROKEN BRUSH OR ROOTS AND UNIFORM DRUS WILL NOT BE ACCEPTABLE.
      - FOR DROUGHTY SITES A SOIL OF KENTUCKY 31 TALL FESCUE AND BLUEGRASS IS PREFERRED OVER A STRAIGHT BLUEGRASS SOIL.
      - ONLY MOST, FRESH UNWEATED SOIL SHOULD BE USED. SOIL SHOULD BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 36 HOURS.
    - SITE PREPARATION
      - SEE SPECIFICATION FOR SEEDING & SOIL TREATMENT FOR PERMANENT VEGETATIVE COVER.
    - APPLYING TOPSOIL
      - SEE SPECIFICATION FOR SEEDING & SOIL TREATMENT FOR PERMANENT VEGETATIVE COVER.
    - SEEDING PREPARATION
      - SEE SPECIFICATION FOR SEEDING & SOIL TREATMENT FOR PERMANENT VEGETATIVE COVER.
    - SOIL PLACEMENT
      - SOIL STRIPS SHOULD BE LAD ON THE CONTOUR, NEVER UP AND DOWN THE SLOPE, STARTING AT THE BOTTOM OF THE SLOPE AND WORKING UP. ON STEEP SLOPES, THE USE OF WALKERS WILL FACILITATE THE WORK AND PREVENT DAMAGE TO THE SOIL. DURING PERIODS OF HIGH TEMPERATURE, LIGHTLY IRRIGATE THE SOIL IMMEDIATELY PRIOR TO LAYING THE SOIL.
      - PLACE SOIL STRIPS WITH SMOO EVEN JOINTS THAT ARE STAGGERED. OPEN SPACES INVITE EROSION.
      - ROLL OR TAMP SOIL DOWN TO PROVIDE FIRM SOIL CONTACT OF ROOTS AND SOIL SURFACE. DO NOT OVERLAP SOIL.
      - ALL JOINTS SHOULD BE BUTTED TIGHTLY IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE DRYING OF THE ROOTS.
      - ON SLOPES GREATER THAN 3 TO 1, SECURE SOIL TO SURFACE SOIL WITH WOOD PEGS, WIRE STAPLES, OR SPLIT SHINGLES (8 TO 10 INCHES LONG BY 3/4 INCH WIDE).
      - SURFACE WATER CANNOT ALWAYS BE DIVERTED FROM FLOWING OVER THE FACE OF THE SLOPE, BUT A CAPPING STRIP OF HEAVY LITE OR PLASTIC NETTING, PROPERLY SECEDED, ALONG THE CROWN OF THE SLOPE AND EDGES WILL PROVIDE EXTRA PROTECTION AGAINST LIFTING AND UNDERCUTTING OF SOIL. THE SAME TECHNIQUE CAN BE USED TO ANCHOR SOIL IN WATER-CARRYING CHANNELS AND OTHER CRITICAL AREAS. WIRE STAPLES MUST BE USED TO ANCHOR NETTING IN CHANNEL WORK.
      - IMMEDIATELY FOLLOWING INSTALLATION, SOIL SHOULD BE WATERED UNTIL MOISTURE PENETRATES THE SOIL LAYER BENEATH SOIL TO A DEPTH OF 4 INCHES. MAINTAIN OPTIMUM MOISTURE FOR AT LEAST TWO WEEKS.
    - IRRIGATION
      - IF SLOW RELEASE NITROGEN (300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT) IS USED IN ADDITION SUGGESTED FERTILIZER, THEN A FOLLOW-UP OF TOPDRESSING IS NOT MANDATORY.
      - SPRING INSTALLATION OF SOIL WILL REQUIRE AN APPLICATION OF FERTILIZER SUCH AS 10-20-10 EQUIVALENT AT 400 POUNDS PER ACRE OR 10 POUNDS PER 1,000 SQUARE FEET BETWEEN SEPTEMBER 1 AND OCTOBER 15.
      - FALL INSTALLATION OF SOIL WILL REQUIRE THE ABOVE BETWEEN MARCH 15 AND MAY 1.
      - E AT A RATE OF 2,000 LB/AC.
      - APPLY 10-10-10 FERTILIZER AT A RATE OF 150 LB/AC.
      - WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF (4) INCHES.
    - SEEDING
      - SEED MIXTURE TEMPORARY: ANNUAL BLUEGRASS SHALL BE APPLIED AT A RATE OF 1.5 LB./1,000 SQ. FT. AND WINTER RYE AT A RATE OF 35 LB./1,000 SQ. FT.
      - APPLY SEED UNIFORMLY. NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2". HYDROSEEDING (INCLUDING FERTILIZER AND SEED IN A SLURRY FORM), MAY BE LEFT ON THE SOIL SURFACE. SOIL CONSERVATION DISTRICT CAN REQUIRE SPECIFIC TECHNIQUES FOR HYDROSEEDING AND/OR HYDROMULCHING IN AREAS WITH DROUGHTY CONDITIONS. FOR MULCHING REQUIREMENTS SEE STANDARD FOR STABILIZATION WITH MULCH.

**E&S PLAN PLANNING & DESIGN STATEMENTS**

**MINIMIZE EXTENT & DURATION OF EARTH DISTURBANCE:**

THIS PROJECT ONLY PROPOSES TO DISTURB ONLY ENOUGH LAND AS IS NEEDED TO CONSTRUCT THE POOL. THE SEQUENCE SHALL BE UTILIZED TO MINIMIZE THE DURATION THAT LAND IS DISTURBED.

**MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES:**

THE FOLLOWING IS A LIST OF BMPs PROPOSED TO BE UTILIZED ON THIS PROJECT:

**SILT FENCE** - SILT FENCE IS PROPOSED TO BE UTILIZED DOWNSTREAM OF THE AREAS OF WORK.

**MINIMIZE SOIL COMPACTION:**

EARTHWORK IS ONLY PROPOSED WITHIN THE AREAS NECESSARY TO CONSTRUCT THE GARAGE. AS MUCH LAND IS PROPOSED TO BE LEFT UNTOUCHED AS POSSIBLE.

**UTILIZE OTHER MEASURES OR CONTROLS THAT PREVENT OR MINIMIZE THE INCREASE IN STORMWATER RUNOFF:**

THIS PROJECT PROPOSES A NET REDUCTION IN IMPERVIOUS SURFACE WITHOUT THE USE OF ADDITIONAL BMPs.

**POTENTIAL FOR THERMAL IMPACTS**

THE RISK OF THERMAL POTION IS MINIMAL ON THE PROJECT; HOWEVER THE PROJECT PROPOSES A NET REDUCTION IN IMPERVIOUS SURFACE WHICH REDUCES WARM WATER FROM MIGRATING DOWNSTREAM.

**RIPARIAN BUFFERS**

THIS SITE DOES NOT CONTAIN ANY, NOR IS WITHIN 300 FEET OF ANY HO OR EV AQUATIC FEATURE THAT WOULD QUALIFY FOR A RIPARIAN BUFFER.

THERE ARE NO EXISTING RIPARIAN BUFFERS ON SITE OR WITHIN 300 FOOT OF THE PROPERTY. THEREFORE NO WANNER IS REQUESTED.

THIS PROJECT DOES NOT PROPOSE ANY RIPARIAN BUFFERS.

AN EQUIVALENCY DEMONSTRATION IS NOT REQUIRED FOR THIS PROJECT DUE TO THE COMMENTS ABOVE.

**GEOLOGIC FORMATIONS/SOIL CONDITIONS**

THIS PROPERTY IS WITHIN THE LOCATING FORMATION WHICH DIPS OUT IN THE NORTHEAST BASIN. IT CONSISTS OF DARK-GRAY TO BLACK ARGILLITE WITH SOME ZONES OF BLACK SHALE AND, LOCALLY, INTER LAYERS OF IMPURE LIMESTONE AND CALCAREOUS SHALE. BEDDING IS MODERATELY TO WELL DEVELOPED AND IS FLAGGY TO THICK. IT IS APPROXIMATELY 3,800 FEET THICK (GEYER AND WILSHUSN, 1982).

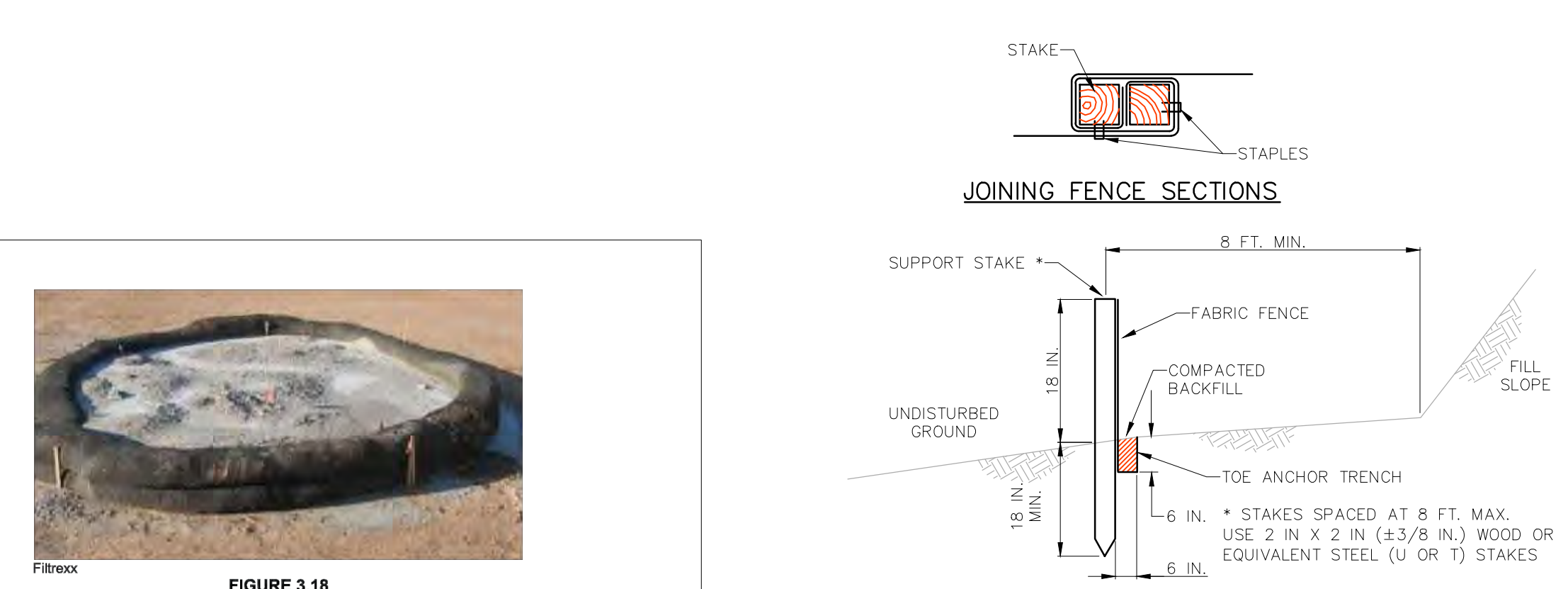
**RECYCLING AND DISPOSAL OF MATERIALS**

- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES.
- STANDARD FOR DISPOSAL OF MATERIALS
  - WASTE ANTICIPATED FOR THIS PROJECT ARE: PACKAGING AND WRAPPINGS FOR BUILDING MATERIALS.
  - ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2601 ET SEQ., 2711, AND 2871 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
  - STOCKPILES TO BE HAULED OFF SITE MUST HAVE AN APPROVED EROSION AND SEDIMENT CONTROL PLAN AT THE DESTINATION LOCATION.

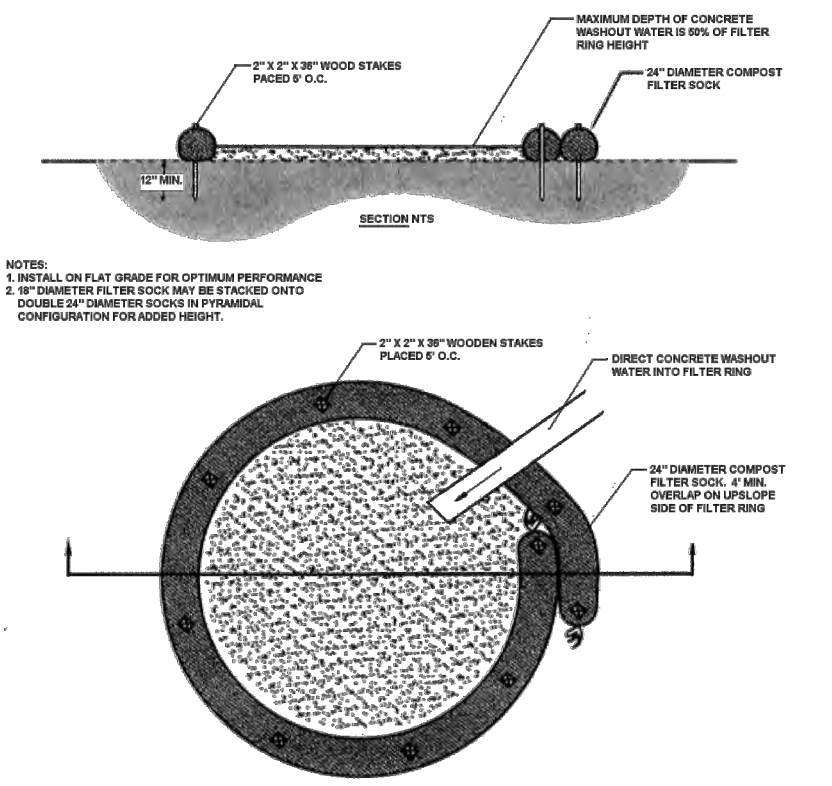
**MAINTENANCE PROGRAM**

ALL EROSION AND SEDIMENTATION CONTROL BMPs SHALL BE INSPECTED AFTER EVERY RAIN EVENT, BUT AT LEAST ONCE A WEEK. INSPECTIONS SHALL BE LOGGED (ON DEP FORM 3150-TH-B) DATED 2-2012 AND KEPT ON SITE AT ALL TIMES.

THE MAINTENANCE INSTRUCTIONS WITHIN THE BMP DETAILS SHALL BE FOLLOWED. ANY ACCUMULATED SEDIMENT SHALL BE SPREAD ON-SITE IN A LOCATION NOT SUBJECT TO EROSION AND STABILIZED IMMEDIATELY.

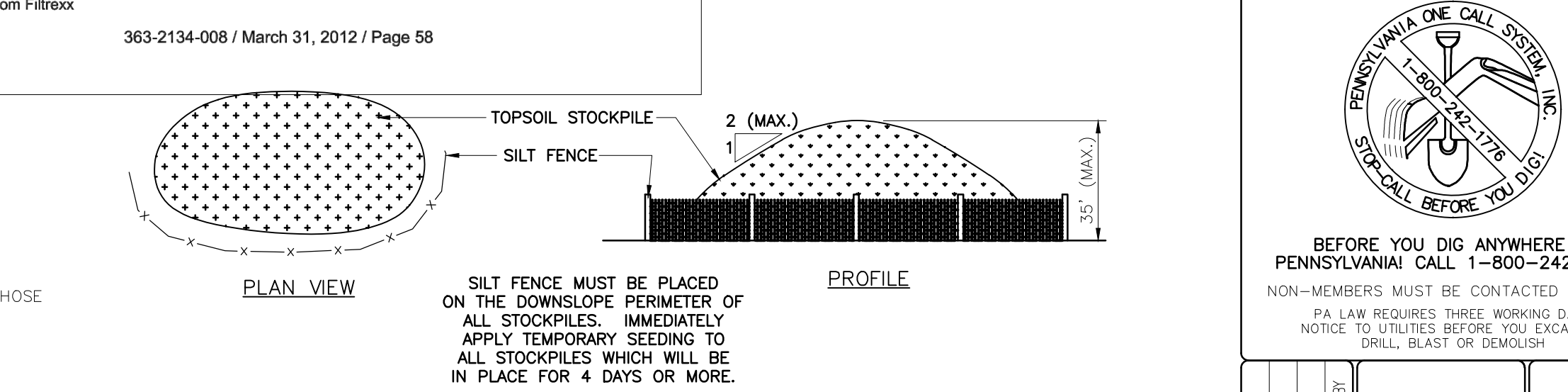


**FIGURE 3.18**  
Typical Compost Sock Washout Installation

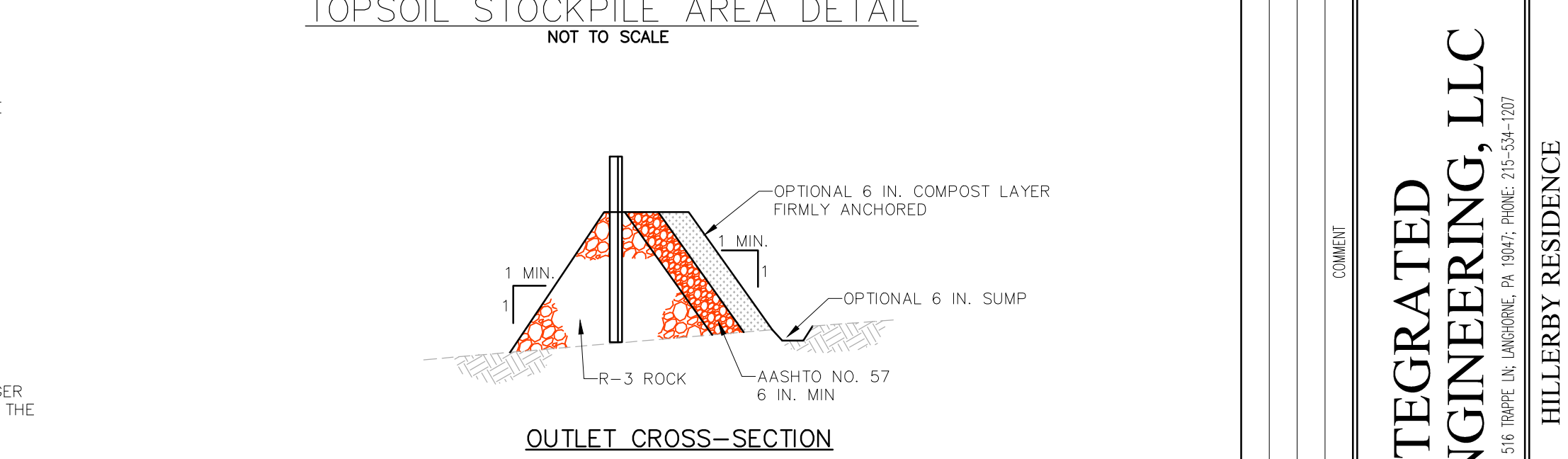


**A suitable impervious geomembrane shall be placed at the location of the washout prior to installing the sock.**  
Adapted from Filtrax

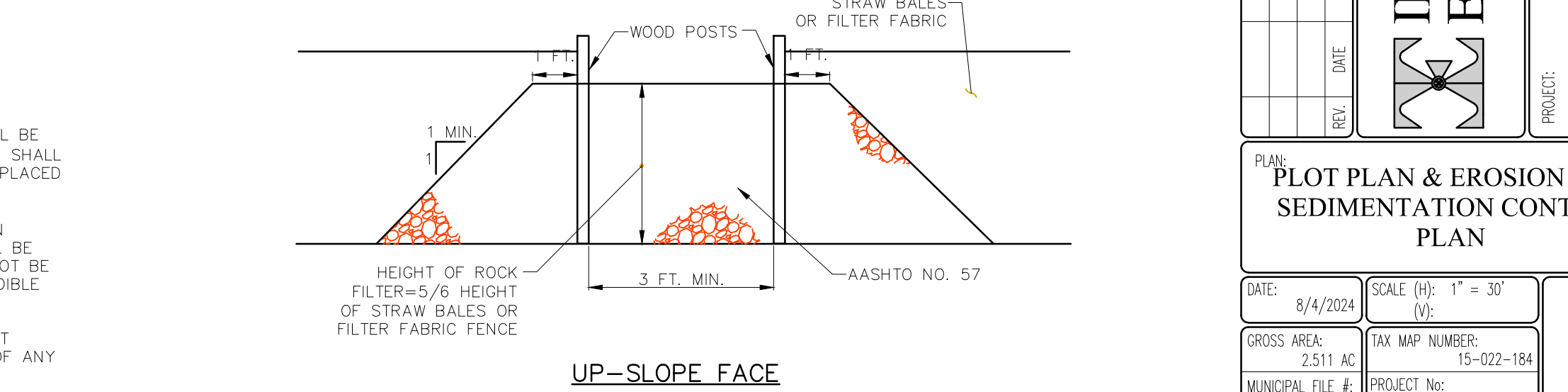
363-2134-008 / March 31, 2012 / Page 58



**TOPSOIL STOCKPILE AREA DETAIL**  
NOT TO SCALE



**OUTLET CROSS-SECTION**



**UP-SLOPE FACE**

**NOTES:**

A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UPSLOPE FACE IN HQ AND EV WATERSHEDS.

SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.

**STANDARD CONSTRUCTION DETAIL #3-16**  
**PUMPED WATER FILTER BAG**  
NOT TO SCALE

**STANDARD CONSTRUCTION DETAIL #4-6**  
**ROCK FILTER OUTLET**  
NOT TO SCALE

**PENNSYLVANIA ONE CALL SYSTEM, INC.**

925 Irwin Run Road  
West Mifflin, Pennsylvania  
15122 - 1078

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776

NON-MEMBERS MUST BE CONTACTED DIRECTLY  
PA LAW REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH

PHOS SERIAL NUMBER

**INTEGRATED ENGINEERING, LLC**

516 THORPE LN, LANCASTER, PA 17602-Phone: 717-534-1001

**HILLBERRY RESIDENCE GARAGE PLOT PLAN**

FALLOW TOWNSHIP, BLUES COUNTY, PENNSYLVANIA

PROJECT:

DATE:	8/4/2024	SCALE (H):	1" = 30' (V):	SHEET NO.:	2
GROSS AREA:	2,511 AC	TAX MAP NUMBER:	15-022-184	MUNICIPAL FILE #:	24-9006
PROJECT NO.:	24-9006	OF 2			

DATE: 8/4/2024

SCALE (H): 1" = 30'

SCALE (V):

GROSS AREA: 2,511 AC

TAX MAP NUMBER: 15-022-184

MUNICIPAL FILE #: 24-9006

PROJECT NO.: 24-9006

OF 2

**B. D. SPRAY**

Professional Engineer  
No. 1000



**NEW  
BUSINESS**



**HILLTOWN TOWNSHIP  
BUCKS COUNTY, PENNSYLVANIA  
RESOLUTION #2024-016**

Be it RESOLVED, that the Hilltown Township of the County of Bucks hereby request a Statewide Local Share Assessment grant of \$1,000,000.00 from the Commonwealth Financing Authority to be used for the renovation and rehabilitation of the Hilltown Township Municipal Building, the engineering, design and inspection of the Municipal Building project, and various infrastructure improvements throughout the Township.

Be it FURTHER RESOLVED, that the Applicant does hereby designate Deanna Ferry, Hilltown Township Manager and Marianne Egan, Hilltown Township Finance Director as the official(s) to execute all documents and agreements between Hilltown Township and the Commonwealth Financing Authority to facilitate and assist in obtaining the requested grant.

I, Deanna Ferry, duly qualified Secretary for Hilltown Township, Bucks County, PA, hereby certify that the forgoing is a true and correct copy of a Resolution duly adopted by a majority vote of the Hilltown Township Board of Supervisors at a regular meeting held September 9, 2024 and said Resolution has been recorded in the Minutes of Hilltown Township and remains in effect as of this date.

IN WITNESS THEREOF, I affix my hand and attach the seal of Hilltown Township, this 9<sup>th</sup> day of September, 2024.

HILLTOWN TOWNSHIP  
BOARD OF SUPERVISORS

\_\_\_\_\_  
Caleb Torrice , Chairman

\_\_\_\_\_  
James C. Groff, Vice-Chairman

\_\_\_\_\_  
Joseph Metzinger, Supervisor

ATTEST: \_\_\_\_\_  
Deanna Ferry,  
Township Secretary

## ARPA BUDGET

		Check No.	2021	Check No.	2022	Check No.	2023	Check No.	2024	2025 Budget	2025 Actual
97-100-000	ARPA Checking										
97-357-100	ARAP Grant										
97-250-000	ARPA - Deferred Gr.										
97-279-000	ARPA - Fund Balance		\$-		\$828,037.14		\$1,650,214.59		\$1,163,296.75	\$1,322,747.66	
Credits											
	COPA #1	Credit	\$828,037.14								
	COPA #2			Credit	\$2,618.04						
	COPA #3			Credit	\$830,656.18						
	HTWSA						Reimbursement	Credit	\$224,071.70		
	Stormwater Management Acct						Reimbursement	Credit	\$27,150.00		
97-100-100	PLGIT						Debit	Debit	\$800,000.00		
97-341-100	PLGIT Dividend						May	Credit	\$2,794.19		
							June	Credit	\$3,362.09		
							July	Credit	\$3,484.12		
97-341-010	Interest		\$1,661.91						\$7,236.16		
		Cumulative	\$1,661.91				Jan	Credit	\$783.23		
							Feb	Credit	\$727.47		
							March	Credit	\$2,341.30		
							April	Credit	\$2,456.97		
							May	Credit	\$638.23		
							June	Credit	\$152.93		
							July	Credit	\$136.03		
97-400-407	IT Networking Services						Metzinger	130	\$528.27	Laptops	\$6,810.00
							Metzinger	130	\$1,658.85	Wifi x2	\$675.00
							Metzinger	130	\$178.69		
							Metzinger	130	\$1,303.79		
							Eds TV	133	\$7,433.00		
							Alex Tech	128	\$1,000.00		
							IT Business Sol	131	\$3,600.00		
97-430-438	Repair of Roads and Bridges					Mar-Allen	121	\$63,480.06	Mar-Allen	126	\$14,731.88
						Mar-Allen	123	\$128,833.96	Mar-Allen	126	\$23,005.10
97-440-446	Stormwater Management										
				101	\$8,114.49	Wynn	104	\$5,274.21	124	\$9,647.06	
		M&W		103	\$2,982.28	Empire Services	105	\$85,787.93	125	\$6,289.62	
						Wynn	106	\$2,500.50	Wynn	127	\$7,734.49
						Empire Services	107	\$82,648.47	Wynn	129	\$4,423.53
						Empire Services	109	\$28,886.55	Wynn	132	\$1,973.80
						Wynn	110	\$1,131.40	Wynn	134	\$7,927.92
						Wynn	111	\$2,448.83	Wynn	135	\$334.79

							Empire Services	112	\$56,665.32													
							Wynn	114	\$2,305.05													
							Wynn	118	\$7,772.35													
							Wynn	120	\$7,329.30													
							Wynn	122	\$11,475.91													
								113	\$378.00													
97-410-	Police Department																					
-220	Operating Etc.													Evidence Refrigerator				\$13,000.00				
														Firearms				\$20,720.00				
														Training Dummies				\$13,500.00				
-750	Minor Equipment													Drone				\$9,000.00				
97-411-242	Fire Department																					
														SCBA's				\$57,000.00				
														AED's				\$5,000.00				
														Training Prop				\$25,000.00				
														Particulate Hood				\$3,000.00				
97-430-	Public Works																					
-260	Small Tools													Blower				\$8,000.00				
														Fork				\$2,700.00				
														Flair Mower				\$35,000.00				
-245	Highway Supplies													Asphalt Filler				\$70,342.66				
97-454-720	Park & Rec																					
														Lighting for parks				\$175,000.00				
97-440-448	Water and Sewer System																					
97-400-409	General Government Buildings																					
														Pub Works Bldg Updates				\$100,000.00				
														Police Dept Addition				\$300,000.00				
														Side and Back Door				\$8,000.00				
														Phase I & II Eval				\$45,000.00				
														Security Cameras				\$125,000.00				
														Fire Supression				\$100,000.00				
														Bathrooms				\$50,000.00				
														HVAC & Heat				\$50,000.00				
97-409-610	General Construction Contracts																					
														ADA Updates				\$100,000.00				
	Balance																	\$831,360.96	\$1,650,214.59	\$1,163,296.75	\$1,322,747.66	\$-



**H&K GROUP, INC.**  
*A Family of Companies*  
DIVERSIFIED STRENGTH... FROM THE GROUND UP!  
P.O. Box 196  
2052 Lucon Road  
Skippack, PA 19474

Phone: (610) 584-8500  
Fax: (610) 584-5432  
www.hkgroup.com

September 5, 2024

Hilltown Township  
13 West Creamery Road  
P.O. Box 260  
Hilltown, PA 18927

Attn: Board of Supervisors  
c/o Theresa Spehar, Administrative Assistant/Website Coordinator

Re: Request for Extension of Hours of Operation  
Rahns Construction Materials Co. – Concrete Batch Plant  
Hilltown Township, Bucks County

Dear Members of the Board:

Rahns Construction Materials Co. will be supplying concrete to The Bazella Group, for a warehouse project in Telford, The reason for the early pour is the volume of concrete, a 12-hour duration, and the need to have the concrete in place to allow for curing in advance of possible elevated afternoon temperatures.

As a result, please accept this correspondence as formal request for approval for extended hours of operation for our concrete batch plant at Chalfont Quarry & Asphalt, as follows:

- Approval to allow the concrete batch plant at Chalfont Quarry & Asphalt to operate between the hours of 12:00 AM and 6:30 AM, Monday, September 23, 2024

Please note that this request has been made separate from the normal monthly request as the above requested hours are outside of that which was approved for the month of September.

Members of the Board, if you have any questions regarding this request, please do not hesitate to contact me directly at (610) 222-3515 (office) or (484) 576-0210 (cellular). Thanks again for your continued assistance.

Sincerely,

H&K GROUP, INC.

Scott S. Drumbore, P.E.  
Mgr., Engineering & Environmental Services Division





**H&K GROUP, INC.**  
A Family of Companies  
DIVERSIFIED STRENGTH... FROM THE GROUND UP!  
P.O. Box 196  
2052 Lucon Road  
Skippack, PA 19474

Phone: (610) 584-8500  
Fax: (610) 584-5432  
www.hkgroup.com

September 5, 2024

Hilltown Township  
13 West Creamery Road  
P.O. Box 260  
Hilltown, PA 18927

Attn: Board of Supervisors  
c/o Theresa Spehar, Administrative Assistant/Website Coordinator

Re: Request for Extension of Hours of Operation  
Rahns Construction Materials Co. – Concrete Batch Plant  
Chalfont Quarry & Asphalt – Asphalt Batch Plant  
Chalfont Quarry & Asphalt – Crushing Plant  
Naceville Materials, Joint Venture  
Hilltown Township, Bucks County

Dear Members of the Board:

Review of pending and ongoing project schedules and customer orders show the continued need to have occasional nighttime operating hours at the concrete batch plant and asphalt batch plant at the Chalfont Quarry & Asphalt facility. Based upon paving and concrete pouring requirements and/or job requirements which may be dictated by the Turnpike Commission, PennDOT and/or private customers it may be necessary to operate either plant during hours which are outside those outlined by the Agreement, i.e. 6:30 AM to 6:30 PM.

In addition, at this time, demand for materials is also requiring the need to operate the crushing plant outside of normal operating hours in order to meet supply requirements for asphalt, concrete and stone orders.

As a result, please accept this correspondence as formal request for approval for extended hours of operation for our concrete batch plant, asphalt batch plant and crushing plant at Chalfont Quarry & Asphalt, as follows:

- Approval to allow the concrete batch plant, asphalt batch plant and crushing plant at Chalfont Quarry & Asphalt to operate between the hours of 6:30 PM and 6:30 AM, Monday through Saturday, between October 1, 2024 and October 31, 2024. Please note that this request excludes Holidays.

During the month of August, 2024, the crushing plants (secondary and tertiary) did not operate outside of normal business hours. The asphalt plant operated on twelve (12) occasions outside of normal business hours (before 6:30 AM). The concrete plant did not operate outside of normal business hours.

Members of the Board, if you have any questions regarding this request, please do not hesitate to contact me directly at (610) 222-3515 (office) or (484) 576-0210 (cellular). Thanks again for your continued assistance.

Sincerely,

H&K GROUP, INC.

Scott S. Drumbore, P.E.  
Mgr., Engineering & Environmental Services Division



H&K Materials			Input							
B-003E	Startup	Shutdown	Oper.	Tons	Rap Used	Burner	Burner	AC	Sold BH	Disposed
August	Time	Time	Hours	Produced	in Tons	Fuel	Fuel	Fuel	Baghouse	BH Dust
Day	am - pm	am - pm				WDLF	LPG			
1	4:04:38AM	2:50:29PM	10.76	1,929	293		2136		50.21	0
2	7:01:39AM	3:30:35PM	8.48	1,769	439		1,884		26.46	0
3										
4										
5	6:50:00AM	4:19:42PM	9.50	2,027	504		2,201		38.5	0
6	6:26:14AM	2:15:22PM	7.82	824	207		1,002		12.45	0
7	6:37:08AM	1:51:47PM	7.24	1,064	268		1,112		20.58	40
8	9:50:48AM	2:57:52PM	3.12	114	17		325		0.85	40
9										
10										
11										
12	7:18:22AM	2:49:09PM	7.51	1,354	206		1,524		30.85	40
13	5:09:15AM	2:49:18PM	9.67	1,234	188		1,398		27.19	40
14	5:06:36AM	2:44:11PM	9.63	1,416	215		1,563		28.48	0
15	4:09:38AM	2:13:55PM	10.07	1,921	483		2,068		3.77	0
16	3:59:24AM	2:41:48PM	10.71	1,731	435		1,924		0.69	0
17	9:02:09AM	1:52:17PM	4.84	770	192		965		22.4	20
18										
19										
20	5:34:15AM	2:37:03PM	9.05	1,464	367		1,602		43.93	60
21	5:18:39AM	3:21:11PM	10.04	1,762	438		1,894		14.26	60
22	5:07:18AM	2:21:12PM	9.23	1,553	373		1,633		7.71	60
23	5:18:50AM	1:32:48PM	8.23	1,323	324		1,489		4.34	0
24										
25										
26	7:27:15AM	2:56:58PM	7.50	710	172		901		9.1	0
27	5:45:44AM	2:42:20PM	8.94	1,021	247		1,102		15.83	0
28	5:15:28AM	2:41:07PM	9.43	1,352	326		1,499		21.11	0
29	5:47:07AM	2:26:42PM	8.66	986	246		1,113		16.74	40
30	7:33:21AM	2:41:55PM	7.14	941	142		1,045		16.96	40
31										
Totals			177.57	27,263	6,082		30,380	0	412	440





DATE August 2, 2024

WEATHER Clouds

JOB# B-510M

SALES 859.29

LOCATION H&K Materials

AUTHORIZED SIGNATURE Mark Lane Sr

**PRIMARY**

PRIMARY TOTAL TONS CRUSHED	<b>2,780</b>	TPH	<b>327</b>	TPH GOAL	<b>400</b>
PRE TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>	TOTAL	<b>1</b>
RACE/GOAL	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>	TOTAL	<b>9</b>
BLAST DOWN TIME		DOWN TIME	<b>0.5</b>	ROCK JAM DOWN TIME	
ACT. PRODUCTION TIME	<b>8 1/2</b>				
POST TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>	TOTAL	<b>1</b>
DAILY MSHA INSPECTION DONE?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	TOTAL HRS.		<b>11</b>

**TERTIARY**

SECONDARY TOTAL TONS CRUSHED		TPH	<b>0</b>	TPH GOAL	
PRE TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>	TOTAL	<b>1</b>
RACE/GOAL	<b>7:00 AM</b>	STOP TIME	<b>3:30 PM</b>	TOTAL	<b>8.5</b>
DOWN TIME		SURGE TUNNEL FEEDER JAMS			
ACT. PRODUCTION TIME	<b>8 1/2</b>				
POST TIME	<b>3:30 PM</b>	STOP TIME	<b>5:00 PM</b>	TOTAL	<b>1.5</b>
TOTAL HRS.					<b>11</b>

**PRIMARY ISSUES**

Down to clear out grizzly bars.

**TERTIARY ISSUES**

Re-Crush 2B

Primary Scale	<u>2,780</u>	467's	<u>8's</u>	<u>372</u>	Concrete Sand	<u>292</u>
2A		57's	<u>1/4"</u>		Washed 57's	
Surge Tunnel		67's	<u>10's</u>			
Tertiary Tunnel		7's	<u>Processed/Washed 10's</u>			

**PORTABLE PRODUCTION**

JOB #		TONS PER BUCKET	<b>8</b>	TONNAGE	<b>664</b>
NUMBER OF BUCKETS	<b>83</b>				
PRE TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>	TOTAL	<b>1</b>
RACE/GOAL	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>	TOTAL	<b>9</b>
ROCK JAM DOWN TIME		DOWN TIME	<b>3 1/2</b>		
ACT. PRODUCTION TIME	<b>5 1/2</b>				
POST TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>	TOTAL	<b>1</b>
DAILY MSHA INSPECTION DONE?	<input type="radio"/> YES	<input type="radio"/> NO	TOTAL HRS.		<b>11.00</b>

**CRUSHING SPECIFICS**

BAR MEASUREMENTS START: \_\_\_\_\_ FINISH: \_\_\_\_\_

NUMBER OF BARS INSTALLED \_\_\_\_\_

BELT SCALE \_\_\_\_\_

**ISSUES:** Kept having over heating issues with the number 9 belt. Just after noon the belt stopped. Had electricians out to check. Found over heating to reset. Got running once cooled down.





DATE August 6, 2024

WEATHER Sun

JOB# B-510M

SALES 1,032.82

AUTHORIZED SIGNATURE Mark Lane Sr

LOCATION H&K Materials

**PRIMARY**

PRIMARY TOTAL TONS CRUSHED	<b>3,096</b>	TPH	<b>364</b>	TPH GOAL	<b>400</b>
PRE TIME	<b>START TIME 6:00 AM</b>	STOP TIME	<b>7:00 AM</b>	TOTAL	<b>1</b>
RACE/GOAL	<b>START TIME 7:00 AM</b>	STOP TIME	<b>4:00 PM</b>	TOTAL	<b>9</b>
BLAST DOWN TIME		DOWN TIME	<b>0.5</b>	ROCK JAM DOWN TIME	
ACT. PRODUCTION TIME	<b>8 1/2</b>				
POST TIME	<b>START TIME 4:00 PM</b>	STOP TIME	<b>5:00 PM</b>	TOTAL	<b>1</b>
DAILY MSHA INSPECTION DONE?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	TOTAL HRS.	<b>11</b>	

**TERTIARY**

SECONDARY TOTAL TONS CRUSHED	<b>1,129</b>	TPH	<b>141.125</b>	TPH GOAL	
PRE TIME	<b>START TIME 6:00 AM</b>	STOP TIME	<b>7:00 AM</b>	TOTAL	<b>1</b>
RACE/GOAL	<b>START TIME 7:00 AM</b>	STOP TIME	<b>4:00 PM</b>	TOTAL	<b>9</b>
DOWN TIME	<b>1</b>	SURGE TUNNEL FEEDER JAMS			
ACT. PRODUCTION TIME	<b>8</b>				
POST TIME	<b>START TIME 4:00 PM</b>	STOP TIME	<b>5:00 PM</b>	TOTAL	<b>1</b>
TOTAL HRS.					<b>11</b>

**PRIMARY ISSUES**

Down to hammer up a goonie at the jaw.

**TERTIARY ISSUES**

Down for a few HP over flows and to remove a flat.

Primary Scale	<u>3,096</u>	467's	<u>          </u>	8's	<u>534</u>	Concrete Sand	<u>          </u>
2A	<u>          </u>	57's	<u>          </u>	1/4"	<u>          </u>	Washed 57's	<u>          </u>
Surge Tunnel	<u>          </u>	67's	<u>          </u>	10's	<u>          </u>		
Tertiary Tunnel	<u>1,129</u>	7's	<u>          </u>	Processed/Washed 10's	<u>          </u>		

**PORTABLE PRODUCTION**

JOB #           

**CRUSHING SPECIFICS**

NUMBER OF BUCKETS	<u>          </u>	TONS PER BUCKET	<u>          </u>	TONNAGE	<u>          </u>
PRE TIME	<b>START TIME</b>	STOP TIME	<u>          </u>	TOTAL	<b>0</b>
RACE/GOAL	<b>START TIME</b>	STOP TIME	<u>          </u>	TOTAL	<b>0</b>
ROCK JAM DOWN TIME		DOWN TIME	<u>          </u>		
ACT. PRODUCTION TIME	<b>0</b>				
POST TIME	<b>START TIME</b>	STOP TIME	<u>          </u>	TOTAL	<b>0</b>
DAILY MSHA INSPECTION DONE?	<input type="radio"/> YES	<input type="radio"/> NO	TOTAL HRS.	<b>0.00</b>	

BAR MEASUREMENTS START:            FINISH:           

NUMBER OF BARS INSTALLED           

BELT SCALE           

**ISSUES:**

DATE August 7, 2024  
 WEATHER Sun  
 JOB# B-510M  
 SALES 1,605.04

AUTHORIZED SIGNATURE Mark Lane Sr

LOCATION H&K Materials

**PRIMARY**

PRIMARY TOTAL TONS CRUSHED	<b>3,329</b>	TPH	<b>370</b>	TPH GOAL	<b>400</b>
PRE TIME	START TIME <b>6:00 AM</b>	STOP TIME <b>7:00 AM</b>	TOTAL		<b>1</b>
RACE/GOAL	START TIME <b>7:00 AM</b>	STOP TIME <b>4:00 PM</b>	TOTAL		<b>9</b>
BLAST DOWN TIME	DOWN TIME	ROCK JAM DOWN TIME			
ACT. PRODUCTION TIME	<b>9</b>				
POST TIME	START TIME <b>4:00 PM</b>	STOP TIME <b>5:00 PM</b>	TOTAL		<b>1</b>
DAILY MSHA INSPECTION DONE?	<input checked="" type="radio"/> YES <input type="radio"/> NO		TOTAL HRS.		<b>11</b>

**PRIMARY ISSUES**

Ran with no issues.

**TERTIARY**

SECONDARY TOTAL TONS CRUSHED	<b>1,093</b>	TPH	<b>161.926</b>	TPH GOAL	
PRE TIME	START TIME <b>6:00 AM</b>	STOP TIME <b>7:00 AM</b>	TOTAL		<b>1</b>
RACE/GOAL	START TIME <b>7:00 AM</b>	STOP TIME <b>3:45 PM</b>	TOTAL		<b>8.75</b>
DOWN TIME	<b>2</b>		SURGE TUNNEL FEEDER JAMS		
ACT. PRODUCTION TIME	<b>6 3/4</b>				
POST TIME	START TIME <b>3:45 PM</b>	STOP TIME <b>5:00 PM</b>	TOTAL		<b>1.25</b>
					TOTAL HRS. <b>11</b>

**TERTIARY ISSUES**

Down to make repairs to the divider wall on the 2B chute. Also down to clear out 1B chute and stopped at the end of the day to switch over to re-crush the 2B rest of the week.

Primary Scale	<u>3,329</u>	467's	<u>                    </u>	8's	<u>341</u>	Concrete Sand	<u>                    </u>
2A	<u>                    </u>	57's	<u>                    </u>	1/4"	<u>                    </u>	Washed 57's	<u>                    </u>
Surge Tunnel	<u>                    </u>	67's	<u>                    </u>	10's	<u>                    </u>		
Tertiary Tunnel	<u>1,093</u>	7's	<u>                    </u>	Processed/Washed 10's	<u>                    </u>		

**PORTABLE PRODUCTION**

JOB #                     

NUMBER OF BUCKETS	TONS PER BUCKET	TONNAGE	
PRE TIME	START TIME	STOP TIME	TOTAL <b>0</b>
RACE/GOAL	START TIME	STOP TIME	TOTAL <b>0</b>
ROCK JAM DOWN TIME	DOWN TIME		
ACT. PRODUCTION TIME	<b>0</b>		
POST TIME	START TIME	STOP TIME	TOTAL <b>0</b>
DAILY MSHA INSPECTION DONE?	<input type="radio"/> YES <input type="radio"/> NO		TOTAL HRS. <b>0.00</b>

**CRUSHING SPECIFICS**

BAR MEASUREMENTS    START:                         FINISH:                     

NUMBER OF BARS INSTALLED                     

BELT SCALE                     

ISSUES:



DATE August 8, 2024  
 WEATHER Sun  
 JOB# B-510M  
 SALES 1,054.63

AUTHORIZED SIGNATURE Mark Lane Sr

LOCATION H&K Materials

PRIMARY				
PRIMARY TOTAL TONS CRUSHED	TPH	<b>0</b>	TPH GOAL	<b>400</b>
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>
	TOTAL	<b>1</b>		
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>
	TOTAL	<b>9</b>		
BLAST DOWN TIME	DOWN TIME		ROCK JAM DOWN TIME	
ACT. PRODUCTION TIME	<b>9</b>			
POST TIME	START TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>
	TOTAL	<b>1</b>		
DAILY MSHA INSPECTION DONE?	<input type="radio"/> YES <input type="radio"/> NO	TOTAL HRS.		<b>11</b>

TERTIARY				
SECONDARY TOTAL TONS CRUSHED	TPH	<b>0</b>	TPH GOAL	
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>
	TOTAL	<b>1</b>		
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>
	TOTAL	<b>9</b>		
DOWN TIME	SURGE TUNNEL FEEDER JAMS			
ACT. PRODUCTION TIME	<b>9</b>			
POST TIME	START TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>
	TOTAL	<b>1</b>		
TOTAL HRS.				<b>11</b>

**PRIMARY ISSUES**  
 Maintenance and moving crusher waste.

**TERTIARY ISSUES**  
 Re-Crush 2B

Primary Scale \_\_\_\_\_ 467's \_\_\_\_\_ 8's \_\_\_\_\_ 434 \_\_\_\_\_ Concrete Sand \_\_\_\_\_ 398  
 2A \_\_\_\_\_ 57's \_\_\_\_\_ 1/4" \_\_\_\_\_ Washed 57's \_\_\_\_\_  
 Surge Tunnel \_\_\_\_\_ 67's \_\_\_\_\_ 10's \_\_\_\_\_  
 Tertiary Tunnel \_\_\_\_\_ 7's \_\_\_\_\_ Processed/Washed 10's \_\_\_\_\_

**PORTABLE PRODUCTION**

JOB # _____						
NUMBER OF BUCKETS	<b>104</b>	TONS PER BUCKET	<b>8</b>	TONNAGE	<b>832</b>	
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>	TOTAL	<b>1</b>
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>	TOTAL	<b>9</b>
ROCK JAM DOWN TIME	DOWN TIME	<b>1 3/4</b>				
ACT. PRODUCTION TIME	<b>7 1/4</b>					
POST TIME	START TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>	TOTAL	<b>1</b>
DAILY MSHA INSPECTION DONE?	<input type="radio"/> YES <input type="radio"/> NO	TOTAL HRS.		<b>11.00</b>		

**CRUSHING SPECIFICS**

BAR MEASUREMENTS START: \_\_\_\_\_ FINISH: \_\_\_\_\_  
 NUMBER OF BARS INSTALLED \_\_\_\_\_  
 BELT SCALE \_\_\_\_\_

**ISSUES:** Down to clear a couple of bin jam ups.

DATE August 9, 2024  
 WEATHER Sun  
 JOB# B-510M  
 SALES 1,019.10

AUTHORIZED SIGNATURE Mark Lane Sr

LOCATION H&K Materials

PRIMARY				
PRIMARY TOTAL TONS CRUSHED	<b>2,097</b>	TPH	<b>323</b>	TPH GOAL <b>400</b>
PRE TIME	START TIME <b>6:00 AM</b>	STOP TIME <b>7:00 AM</b>	TOTAL <b>1</b>	
RACE/GOAL	START TIME <b>7:00 AM</b>	STOP TIME <b>4:00 PM</b>	TOTAL <b>9</b>	
BLAST DOWN TIME	DOWN TIME <b>2.5</b>		ROCK JAM DOWN TIME	
ACT. PRODUCTION TIME	<b>6 1/2</b>			
POST TIME	START TIME <b>4:00 PM</b>	STOP TIME <b>5:00 PM</b>	TOTAL <b>1</b>	
DAILY MSHA INSPECTION DONE?	YES <input type="radio"/> NO <input type="radio"/>		TOTAL HRS. <b>11</b>	

TERTIARY				
SECONDARY TOTAL TONS CRUSHED	<b>1,077</b>	TPH	<b>143.6</b>	TPH GOAL
PRE TIME	START TIME <b>6:00 AM</b>	STOP TIME <b>7:00 AM</b>	TOTAL <b>1</b>	
RACE/GOAL	START TIME <b>7:00 AM</b>	STOP TIME <b>4:00 PM</b>	TOTAL <b>9</b>	
DOWN TIME	<b>1.5</b>	SURGE TUNNEL FEEDER JAMS		
ACT. PRODUCTION TIME	<b>7 1/2</b>			
POST TIME	START TIME <b>4:00 PM</b>	STOP TIME <b>5:00 PM</b>	TOTAL <b>1</b>	
DAILY MSHA INSPECTION DONE?			TOTAL HRS. <b>11</b>	

**PRIMARY ISSUES**

Down to remove a rock jam in the jaw discharge belt. Removed rock, clear out crusher and belt.

**TERTIARY ISSUES**

Switched over to run GP crusher. Needed to repair rubber divider and clear out 1B chute.

Primary Scale 2,097      467's \_\_\_\_\_      8's 390      Concrete Sand \_\_\_\_\_  
 2A \_\_\_\_\_      57's \_\_\_\_\_      1/4" \_\_\_\_\_      Washed 57's \_\_\_\_\_  
 Surge Tunnel \_\_\_\_\_      67's \_\_\_\_\_      10's \_\_\_\_\_  
 Tertiary Tunnel 1,077      7's \_\_\_\_\_      Processed/Washed 10's \_\_\_\_\_

**PORTABLE PRODUCTION**

JOB # \_\_\_\_\_

**CRUSHING SPECIFICS**

NUMBER OF BUCKETS	TONS PER BUCKET	TONNAGE	
PRE TIME	START TIME _____	STOP TIME _____	TOTAL <b>0</b>
RACE/GOAL	START TIME _____	STOP TIME _____	TOTAL <b>0</b>
ROCK JAM DOWN TIME	DOWN TIME _____		
ACT. PRODUCTION TIME	<b>0</b>		
POST TIME	START TIME _____	STOP TIME _____	TOTAL <b>0</b>
DAILY MSHA INSPECTION DONE?	YES <input type="radio"/> NO <input type="radio"/>		TOTAL HRS. <b>0.00</b>

BAR MEASUREMENTS START: \_\_\_\_\_ FINISH: \_\_\_\_\_

NUMBER OF BARS INSTALLED \_\_\_\_\_

BELT SCALE \_\_\_\_\_

**ISSUES:**

\_\_\_\_\_





DATE August 13, 2024  
 WEATHER Sun  
 JOB# B-510M  
 SALES 930.16

AUTHORIZED SIGNATURE Mark Lane Sr

LOCATION H&K Materials

**PRIMARY**

PRIMARY TOTAL TONS CRUSHED	<b>2,708</b>	TPH	<b>319</b>	TPH GOAL	<b>400</b>
PRE TIME	START TIME <b>6:00 AM</b>	STOP TIME <b>7:00 AM</b>			TOTAL <b>1</b>
RACE/GOAL	START TIME <b>7:00 AM</b>	STOP TIME <b>4:00 PM</b>			TOTAL <b>9</b>
BLAST DOWN TIME	<b>0.5</b>	DOWN TIME			ROCK JAM DOWN TIME
ACT. PRODUCTION TIME	<b>8 1/2</b>				
POST TIME	START TIME <b>4:00 PM</b>	STOP TIME <b>5:00 PM</b>			TOTAL <b>1</b>
DAILY MSHA INSPECTION DONE?	<input checked="" type="radio"/> YES <input type="radio"/> NO				TOTAL HRS. <b>11</b>

**TERTIARY**

SECONDARY TOTAL TONS CRUSHED	<b>1,071</b>	TPH	<b>153</b>	TPH GOAL	
PRE TIME	START TIME <b>6:00 AM</b>	STOP TIME <b>7:00 AM</b>			TOTAL <b>1</b>
RACE/GOAL	START TIME <b>7:00 AM</b>	STOP TIME <b>3:30 PM</b>			TOTAL <b>8.5</b>
DOWN TIME	<b>1.5</b>	SURGE TUNNEL FEEDER JAMS			
ACT. PRODUCTION TIME	<b>7</b>				
POST TIME	START TIME <b>3:30 PM</b>	STOP TIME <b>5:00 PM</b>			TOTAL <b>1.5</b>
					TOTAL HRS. <b>11</b>

**PRIMARY ISSUES**

Ran with no issues. Down for blast and running hammer rock for a few hours.

**TERTIARY ISSUES**

Down for blast, repair 2b chute dividerwall and at the end of the day the number 3 belt stopped from speed roller. Had to clear belt and roller.

Primary Scale 2,708      467's \_\_\_\_\_      8's 383      Concrete Sand \_\_\_\_\_  
 2A \_\_\_\_\_      57's \_\_\_\_\_      1/4" \_\_\_\_\_      Washed 57's \_\_\_\_\_  
 Surge Tunnel \_\_\_\_\_      67's \_\_\_\_\_      10's \_\_\_\_\_  
 Tertiary Tunnel 1,071      7's \_\_\_\_\_      Processed/Washed 10's \_\_\_\_\_

**PORTABLE PRODUCTION**

JOB # _____	TONS PER BUCKET _____	TONNAGE _____
NUMBER OF BUCKETS _____		
PRE TIME	START TIME _____	STOP TIME _____
RACE/GOAL	START TIME _____	STOP TIME _____
ROCK JAM DOWN TIME	DOWN TIME _____	
ACT. PRODUCTION TIME	<b>0</b>	
POST TIME	START TIME _____	STOP TIME _____
DAILY MSHA INSPECTION DONE?	<input type="radio"/> YES <input type="radio"/> NO	
		TOTAL HRS. <b>0.00</b>

**CRUSHING SPECIFICS**

BAR MEASUREMENTS    START: \_\_\_\_\_    FINISH: \_\_\_\_\_  
 NUMBER OF BARS INSTALLED \_\_\_\_\_  
 BELT SCALE \_\_\_\_\_

**ISSUES:**

Production Information







DATE August 16, 2024

WEATHER Sun

JOB# B-510M

SALES 955.22

LOCATION H&K Materials

AUTHORIZED SIGNATURE Mark Lane Sr

**PRIMARY**

PRIMARY TOTAL TONS CRUSHED	TPH	<b>0</b>	TPH GOAL	<b>400</b>
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>
	TOTAL	<b>1</b>		
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>
	TOTAL	<b>9</b>		
BLAST DOWN TIME	DOWN TIME	ROCK JAM DOWN TIME		
ACT. PRODUCTION TIME	<b>9</b>			
POST TIME	START TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>
	TOTAL	<b>1</b>		
DAILY MSHA INSPECTION DONE?	<input type="radio"/> YES <input type="radio"/> NO		TOTAL HRS.	<b>11</b>

**TERTIARY**

SECONDARY TOTAL TONS CRUSHED	TPH	<b>0</b>	TPH GOAL	
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>
	TOTAL	<b>1</b>		
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>
	TOTAL	<b>9</b>		
DOWN TIME	SURGE TUNNEL FEEDER JAMS			
ACT. PRODUCTION TIME	<b>9</b>			
POST TIME	START TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>
	TOTAL	<b>1</b>		
	TOTAL HRS.	<b>11</b>		

**PRIMARY ISSUES**

Maintenance/Moving waste and Modified.

**TERTIARY ISSUES**

Primary Scale	467's	8's	407	Concrete Sand	377
2A	57's	1/4"		Washed 57's	
Surge Tunnel	67's	10's			
Tertiary Tunnel	7's	Processed/Washed 10's			

**PORTABLE PRODUCTION**

JOB #

NUMBER OF BUCKETS	<b>98</b>	TONS PER BUCKET	<b>8</b>	TONNAGE	<b>784</b>
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>	TOTAL
		<b>1</b>			
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>3:30 PM</b>	TOTAL
		<b>8.5</b>			
ROCK JAM DOWN TIME	DOWN TIME	<b>1 1/2</b>			
ACT. PRODUCTION TIME	<b>7</b>				
POST TIME	START TIME	<b>3:30 PM</b>	STOP TIME	<b>5:00 PM</b>	TOTAL
		<b>1.5</b>			
DAILY MSHA INSPECTION DONE?	<input checked="" type="radio"/> YES <input type="radio"/> NO		TOTAL HRS.	<b>11.00</b>	

**CRUSHING SPECIFICS**

BAR MEASUREMENTS START: \_\_\_\_\_ FINISH: \_\_\_\_\_

NUMBER OF BARS INSTALLED \_\_\_\_\_

BELT SCALE \_\_\_\_\_

ISSUES: Doen for number 9 conveyor. Belt shutting down randomly/ Electrical was called out to resolve the issues in the panel.



DATE August 19, 2024

WEATHER Sun

JOB# B-510M

SALES 1,008.08

LOCATION H&K Materials

AUTHORIZED SIGNATURE Mark Lane Sr

**PRIMARY**

PRIMARY TOTAL TONS CRUSHED	TPH	<b>0</b>	TPH GOAL	<b>400</b>
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>
	TOTAL	<b>1</b>		
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>
	TOTAL	<b>9</b>		
BLAST DOWN TIME	DOWN TIME		ROCK JAM DOWN TIME	
ACT. PRODUCTION TIME	<b>9</b>			
POST TIME	START TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>
	TOTAL	<b>1</b>		
DAILY MSHA INSPECTION DONE?	<input type="radio"/> YES	<input type="radio"/> NO	TOTAL HRS.	<b>11</b>

**TERTIARY**

SECONDARY TOTAL TONS CRUSHED	TPH	<b>0</b>	TPH GOAL	
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>
	TOTAL	<b>1</b>		
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>
	TOTAL	<b>9</b>		
DOWN TIME	SURGE TUNNEL FEEDER JAMS			
ACT. PRODUCTION TIME	<b>9</b>			
POST TIME	START TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>
	TOTAL	<b>1</b>		
	TOTAL HRS.	<b>11</b>		

**PRIMARY ISSUES**

Maintenance/Modified

**TERTIARY ISSUES**

Re-Crush 2B

Primary Scale	467s	8's	543	Concrete Sand	409
2A	57s	1/4"		Washed 57's	
Surge Tunnel	67s	10's			
Tertiary Tunnel	7s	Processed/Washed 10's			

**PORTABLE PRODUCTION**

JOB #

NUMBER OF BUCKETS	<b>119</b>	TONS PER BUCKET	<b>8</b>	TONNAGE	<b>952</b>
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>	TOTAL
		<b>1</b>			
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>	TOTAL
		<b>9</b>			
ROCK JAM DOWN TIME	DOWN TIME	<b>1 1/2</b>			
ACT. PRODUCTION TIME	<b>7 1/2</b>				
POST TIME	START TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>	TOTAL
		<b>1</b>			
DAILY MSHA INSPECTION DONE?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	TOTAL HRS.	<b>11.00</b>	

**CRUSHING SPECIFICS**

BAR MEASUREMENTS START: \_\_\_\_\_ FINISH: \_\_\_\_\_

NUMBER OF BARS INSTALLED \_\_\_\_\_

BELT SCALE \_\_\_\_\_

ISSUES: Down for electrical to replace breaker, starter or number 9 belt and lock out lever of the HP crusher.

DATE August 20, 2024  
 WEATHER Sun  
 JOB# B-510M  
 SALES 1,697.59

AUTHORIZED SIGNATURE Mark Lane Sr

LOCATION H&K Materials

PRIMARY				
PRIMARY TOTAL TONS CRUSHED	TPH	<b>0</b>	TPH GOAL	<b>400</b>
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>
	TOTAL	<b>1</b>		
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>
	TOTAL	<b>9</b>		
BLAST DOWN TIME	DOWN TIME		ROCK JAM DOWN TIME	
ACT. PRODUCTION TIME	<b>9</b>			
POST TIME	START TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>
	TOTAL	<b>1</b>		
DAILY MSHA INSPECTION DONE?	<input type="radio"/> YES <input type="radio"/> NO	TOTAL HRS.		<b>11</b>

TERTIARY				
SECONDARY TOTAL TONS CRUSHED	TPH	<b>0</b>	TPH GOAL	
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>
	TOTAL	<b>1</b>		
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>
	TOTAL	<b>9</b>		
DOWN TIME	SURGE TUNNEL FEEDER JAMS			
ACT. PRODUCTION TIME	<b>9</b>			
POST TIME	START TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>
	TOTAL	<b>1</b>		
		TOTAL HRS.		<b>11</b>

*PRIMARY ISSUES*  
 Maintenance/Modified

*TERTIARY ISSUES*  
 Re\*Crush 2B

Primary Scale	467's	8's	620	Concrete Sand	400
2A	57's	1/4"		Washed 57's	
Surge Tunnel	67's	10's			
Tertiary Tunnel	7's	Processed/Washed 10's			

**PORTABLE PRODUCTION**

JOB #					
NUMBER OF BUCKETS	<b>102</b>	TONS PER BUCKET	<b>10</b>	TONNAGE	<b>1,020</b>
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>	TOTAL
					<b>1</b>
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>	TOTAL
					<b>9</b>
ROCK JAM DOWN TIME	DOWN TIME	<b>1</b>			
ACT. PRODUCTION TIME	<b>8</b>				
POST TIME	START TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>	TOTAL
					<b>1</b>
DAILY MSHA INSPECTION DONE?	<input checked="" type="radio"/> YES <input type="radio"/> NO	TOTAL HRS.		<b>11.00</b>	

**CRUSHING SPECIFICS**

BAR MEASUREMENTS START: \_\_\_\_\_ FINISH: \_\_\_\_\_  
 NUMBER OF BARS INSTALLED \_\_\_\_\_  
 BELT SCALE \_\_\_\_\_

*ISSUES:* Down to dig out grit stacker.

DATE August 21, 2024

WEATHER Sun

JOB# B-510M

SALES 1,666.12

LOCATION H&K Materials

AUTHORIZED SIGNATURE Mark Lane Sr

**PRIMARY**

PRIMARY TOTAL TONS CRUSHED	TPH	<b>0</b>	TPH GOAL	<b>400</b>
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>
	TOTAL	<b>1</b>		
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>
	TOTAL	<b>9</b>		
BLAST DOWN TIME	DOWN TIME	ROCK JAM DOWN TIME		
ACT. PRODUCTION TIME	<b>9</b>			
POST TIME	START TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>
	TOTAL	<b>1</b>		
DAILY MSHA INSPECTION DONE?	<input type="radio"/> YES <input type="radio"/> NO		TOTAL HRS.	<b>11</b>

**TERTIARY**

SECONDARY TOTAL TONS CRUSHED	TPH	<b>0</b>	TPH GOAL	
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>
	TOTAL	<b>1</b>		
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>
	TOTAL	<b>9</b>		
DOWN TIME	SURGE TUNNEL FEEDER JAMS			
ACT. PRODUCTION TIME	<b>9</b>			
POST TIME	START TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>
	TOTAL	<b>1</b>		
	TOTAL HRS.	<b>11</b>		

**PRIMARY ISSUES**

Maintenance/Modified

**TERTIARY ISSUES**

Re\*Crush 2B

Primary Scale	467's	8's	550	Concrete Sand	360
2A	57's	1/4"		Washed 57's	
Surge Tunnel	67's	10's			
Tertiary Tunnel	7's	Processed/Washed 10's			

**PORTABLE PRODUCTION**

JOB #

NUMBER OF BUCKETS	<b>91</b>	TONS PER BUCKET	<b>10</b>	TONNAGE	<b>910</b>
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>	TOTAL
		<b>1</b>			
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>	TOTAL
		<b>9</b>			
ROCK JAM DOWN TIME	DOWN TIME	<b>1 1/4</b>			
ACT. PRODUCTION TIME	<b>7 3/4</b>				
POST TIME	START TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>	TOTAL
		<b>1</b>			
DAILY MSHA INSPECTION DONE?	<input checked="" type="radio"/> YES <input type="radio"/> NO		TOTAL HRS.	<b>11.00</b>	

**CRUSHING SPECIFICS**

BAR MEASUREMENTS START: \_\_\_\_\_ FINISH: \_\_\_\_\_

NUMBER OF BARS INSTALLED \_\_\_\_\_

BELT SCALE \_\_\_\_\_

ISSUES: Down to clean out 1b chute and had a jam up in the bin.



DATE August 22, 2024  
 WEATHER Sun  
 JOB# B-510M  
 SALES 677.18

AUTHORIZED SIGNATURE Mark Lane Sr

LOCATION H&K Materials

PRIMARY				
PRIMARY TOTAL TONS CRUSHED	TPH	<b>0</b>	TPH GOAL	<b>400</b>
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>
	TOTAL	<b>1</b>		
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>
	TOTAL	<b>9</b>		
BLAST DOWN TIME	DOWN TIME	ROCK JAM DOWN TIME		
ACT. PRODUCTION TIME	<b>9</b>			
POST TIME	START TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>
	TOTAL	<b>1</b>		
DAILY MSHA INSPECTION DONE?	<input type="radio"/> YES <input type="radio"/> NO	TOTAL HRS.	<b>11</b>	

TERTIARY				
SECONDARY TOTAL TONS CRUSHED	TPH	<b>0</b>	TPH GOAL	
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>
	TOTAL	<b>1</b>		
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>
	TOTAL	<b>9</b>		
DOWN TIME	SURGE TUNNEL FEEDER JAMS			
ACT. PRODUCTION TIME	<b>9</b>			
POST TIME	START TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>
	TOTAL	<b>1</b>		
		TOTAL HRS.	<b>11</b>	

**PRIMARY ISSUES**  
 Maintenance/Modified

**TERTIARY ISSUES**  
 Re\*Crush 2B

Primary Scale	467's	8's	620	Concrete Sand	430
2A	57's	1/4"		Washed 57's	
Surge Tunnel	67's	10's			
Tertiary Tunnel	7's	Processed/Washed 10's			

**PORTABLE PRODUCTION**

JOB #					
NUMBER OF BUCKETS	<b>105</b>	TONS PER BUCKET	<b>10</b>	TONNAGE	<b>1,050</b>
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>	TOTAL
					<b>1</b>
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>	TOTAL
					<b>9</b>
ROCK JAM DOWN TIME	DOWN TIME	ROCK JAM DOWN TIME			
ACT. PRODUCTION TIME	<b>9</b>				
POST TIME	START TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>	TOTAL
					<b>1</b>
DAILY MSHA INSPECTION DONE?	<input type="radio"/> YES <input type="radio"/> NO	TOTAL HRS.	<b>11.00</b>		

**CRUSHING SPECIFICS**

BAR MEASUREMENTS START: \_\_\_\_\_ FINISH: \_\_\_\_\_  
 NUMBER OF BARS INSTALLED \_\_\_\_\_  
 BELT SCALE \_\_\_\_\_

ISSUES: C

DATE August 23, 2024  
 WEATHER Sun  
 JOB# B-510M  
 SALES 666.36

AUTHORIZED SIGNATURE Mark Lane Sr

LOCATION H&K Materials

PRIMARY					TERTIARY				
PRIMARY TOTAL TONS CRUSHED	TPH	<b>0</b>	TPH GOAL	<b>400</b>	SECONDARY TOTAL TONS CRUSHED	TPH	<b>0</b>	TPH GOAL	
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>	TOTAL	<b>1</b>			
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>	TOTAL	<b>9</b>			
BLAST DOWN TIME	DOWN TIME		ROCK JAM DOWN TIME						
ACT. PRODUCTION TIME	<b>9</b>				ACT. PRODUCTION TIME	<b>9</b>			
POST TIME	START TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>	TOTAL	<b>1</b>			
DAILY MSHA INSPECTION DONE?	YES	<input type="radio"/>	NO	<input type="radio"/>	TOTAL HRS.	<b>11</b>			
<i>PRIMARY ISSUES</i>					<i>TERTIARY ISSUES</i>				
Maintenance/Modified					Re*Crush 2B				

Primary Scale	467's	8's	662	Concrete Sand	448
2A	57's	1/4"		Washed 57's	
Surge Tunnel	67's	10's			
Tertiary Tunnel	7's	Processed/Washed 10's			

**PORTABLE PRODUCTION**

JOB #	TONS PER BUCKET	TONNAGE
NUMBER OF BUCKETS <b>111</b>	<b>10</b>	<b>1,110</b>
PRE TIME	START TIME	<b>6:00 AM</b>
	STOP TIME	<b>7:00 AM</b>
TOTAL	<b>1</b>	
RACE/GOAL	START TIME	<b>7:00 AM</b>
	STOP TIME	<b>4:00 PM</b>
TOTAL	<b>9</b>	
ROCK JAM DOWN TIME	DOWN TIME	<b>1/2</b>
ACT. PRODUCTION TIME	<b>8 1/2</b>	
POST TIME	START TIME	<b>4:00 PM</b>
	STOP TIME	<b>5:00 PM</b>
TOTAL	<b>1</b>	
DAILY MSHA INSPECTION DONE?	YES	<input type="radio"/>
	NO	<input type="radio"/>
TOTAL HRS.	<b>11.00</b>	

**CRUSHING SPECIFICS**

BAR MEASUREMENTS START: \_\_\_\_\_ FINISH: \_\_\_\_\_  
 NUMBER OF BARS INSTALLED \_\_\_\_\_  
 BELT SCALE \_\_\_\_\_

ISSUES: Down to clear out 1b chute.

DATE August 26, 2024  
 WEATHER Sun  
 JOB# B-510M  
 SALES 1,052.55

AUTHORIZED SIGNATURE Mark Lane Sr

LOCATION H&K Materials

**PRIMARY**

PRIMARY TOTAL TONS CRUSHED	TPH	<b>0</b>	TPH GOAL	<b>400</b>
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>
	TOTAL	<b>1</b>		
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>
	TOTAL	<b>9</b>		
BLAST DOWN TIME	DOWN TIME	ROCK JAM DOWN TIME		
ACT. PRODUCTION TIME	<b>9</b>			
POST TIME	START TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>
	TOTAL	<b>1</b>		
DAILY MSHA INSPECTION DONE?	<input type="radio"/> YES <input type="radio"/> NO	TOTAL HRS. <b>11</b>		

**TERTIARY**

SECONDARY TOTAL TONS CRUSHED	TPH	<b>0</b>	TPH GOAL	
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>
	TOTAL	<b>1</b>		
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>4:00 PM</b>
	TOTAL	<b>9</b>		
DOWN TIME	SURGE TUNNEL FEEDER JAMS			
ACT. PRODUCTION TIME	<b>9</b>			
POST TIME	START TIME	<b>4:00 PM</b>	STOP TIME	<b>5:00 PM</b>
	TOTAL	<b>1</b>		
		TOTAL HRS. <b>11</b>		

**PRIMARY ISSUES**

Maintenance/Modified

**TERTIARY ISSUES**

Re\*Crush 2B

Primary Scale \_\_\_\_\_ 467's \_\_\_\_\_ 8's \_\_\_\_\_ 528 \_\_\_\_\_ Concrete Sand \_\_\_\_\_ 392  
 2A \_\_\_\_\_ 57's \_\_\_\_\_ 1/4" \_\_\_\_\_ Washed 57's \_\_\_\_\_  
 Surge Tunnel \_\_\_\_\_ 67's \_\_\_\_\_ 10's \_\_\_\_\_  
 Tertiary Tunnel \_\_\_\_\_ 7's \_\_\_\_\_ Processed/Washed 10's \_\_\_\_\_

**PORTABLE PRODUCTION**

JOB # _____	TONS PER BUCKET	<b>10</b>	TONNAGE	<b>920</b>
NUMBER OF BUCKETS	<b>92</b>			
PRE TIME	START TIME	<b>6:00 AM</b>	STOP TIME	<b>7:00 AM</b>
	TOTAL	<b>1</b>		
RACE/GOAL	START TIME	<b>7:00 AM</b>	STOP TIME	<b>3:30 PM</b>
	TOTAL	<b>8.5</b>		
ROCK JAM DOWN TIME	<b>1</b>	DOWN TIME		
ACT. PRODUCTION TIME	<b>7 1/2</b>			
POST TIME	START TIME	<b>3:30 PM</b>	STOP TIME	<b>5:00 PM</b>
	TOTAL	<b>1.5</b>		
DAILY MSHA INSPECTION DONE?	<input checked="" type="radio"/> YES <input type="radio"/> NO	TOTAL HRS. <b>11.00</b>		

**CRUSHING SPECIFICS**

BAR MEASUREMENTS START: \_\_\_\_\_ FINISH: \_\_\_\_\_  
 NUMBER OF BARS INSTALLED \_\_\_\_\_  
 BELT SCALE \_\_\_\_\_

ISSUES: Down for two bin jam ups and shut down early to prepare to crush the primary.



DATE August 27, 2024  
 WEATHER Sun  
 JOB# B-510M  
 SALES 1,125.36

AUTHORIZED SIGNATURE Mark Lane Sr

LOCATION H&K Materials

**PRIMARY**

PRIMARY TOTAL TONS CRUSHED 3,070 TPH 341 TPH GOAL 400  
 PRE TIME START TIME 6:00 AM STOP TIME 7:00 AM TOTAL 1  
 RACE/GOAL START TIME 7:00 AM STOP TIME 4:00 PM TOTAL 9  
 BLAST DOWN TIME \_\_\_\_\_ DOWN TIME \_\_\_\_\_ ROCK JAM DOWN TIME \_\_\_\_\_  
 ACT. PRODUCTION TIME 9  
 POST TIME START TIME 4:00 PM STOP TIME 5:00 PM TOTAL 1  
 DAILY MSHA INSPECTION DONE?  YES  NO TOTAL HRS. 11

**TERTIARY**

SECONDARY TOTAL TONS CRUSHED 1,187 TPH 153.161 TPH GOAL \_\_\_\_\_  
 PRE TIME START TIME 6:00 AM STOP TIME 7:00 AM TOTAL 1  
 RACE/GOAL START TIME 7:00 AM STOP TIME 3:45 PM TOTAL 8.75  
 DOWN TIME 1 SURGE TUNNEL FEEDER JAMS \_\_\_\_\_  
 ACT. PRODUCTION TIME 7 3/4  
 POST TIME START TIME 3:45 PM STOP TIME 5:00 PM TOTAL 1.25  
 TOTAL HRS. 11

**PRIMARY ISSUES**

Ran with no issues.

**TERTIARY ISSUES**

Down to clean out and track the 2B transfer. Stopped early to replace skirt rubbers on 2B transfer conveyor.

Primary Scale 3,070 467's \_\_\_\_\_ 8's 384 Concrete Sand \_\_\_\_\_  
 2A \_\_\_\_\_ 57's \_\_\_\_\_ 1/4" \_\_\_\_\_ Washed 57's \_\_\_\_\_  
 Surge Tunnel \_\_\_\_\_ 67's \_\_\_\_\_ 10's \_\_\_\_\_  
 Tertiary Tunnel 1,187 7's \_\_\_\_\_ Processed/Washed 10's \_\_\_\_\_

**PORTABLE PRODUCTION**

JOB # \_\_\_\_\_  
 TONS PER BUCKET \_\_\_\_\_ TONNAGE \_\_\_\_\_  
 NUMBER OF BUCKETS \_\_\_\_\_  
 PRE TIME START TIME \_\_\_\_\_ STOP TIME \_\_\_\_\_ TOTAL 0  
 RACE/GOAL START TIME \_\_\_\_\_ STOP TIME \_\_\_\_\_ TOTAL 0  
 ROCK JAM DOWN TIME \_\_\_\_\_ DOWN TIME \_\_\_\_\_  
 ACT. PRODUCTION TIME 0  
 POST TIME START TIME \_\_\_\_\_ STOP TIME \_\_\_\_\_ TOTAL 0  
 DAILY MSHA INSPECTION DONE?  YES  NO TOTAL HRS. 0.00

**CRUSHING SPECIFICS**

BAR MEASUREMENTS START: \_\_\_\_\_ FINISH: \_\_\_\_\_  
 NUMBER OF BARS INSTALLED \_\_\_\_\_  
 BELT SCALE \_\_\_\_\_

**ISSUES:**

\_\_\_\_\_



DATE August 29, 2024  
 WEATHER Sun  
 JOB# B-510M  
 SALES 1,296.65

AUTHORIZED SIGNATURE Mark Lane Sr

LOCATION H&K Materials

PRIMARY				
PRIMARY TOTAL TONS CRUSHED	<u>2,112</u>	TPH	<u>273</u>	TPH GOAL <u>400</u>
PRE TIME	START TIME <u>6:00 AM</u>	STOP TIME <u>7:00 AM</u>	TOTAL <u>1</u>	
RACE/GOAL	START TIME <u>7:00 AM</u>	STOP TIME <u>4:00 PM</u>	TOTAL <u>9</u>	
BLAST DOWN TIME	DOWN TIME <u>1.25</u>		ROCK JAM DOWN TIME	
ACT. PRODUCTION TIME	<u>7 3/4</u>			
POST TIME	START TIME <u>4:00 PM</u>	STOP TIME <u>5:00 PM</u>	TOTAL <u>1</u>	
DAILY MSHA INSPECTION DONE?	YES <input type="radio"/> NO <input type="radio"/>		TOTAL HRS. <u>11</u>	

TERTIARY				
SECONDARY TOTAL TONS CRUSHED	<u>1,190</u>	TPH	<u>148.75</u>	TPH GOAL
PRE TIME	START TIME <u>6:00 AM</u>	STOP TIME <u>7:00 AM</u>	TOTAL <u>1</u>	
RACE/GOAL	START TIME <u>7:00 AM</u>	STOP TIME <u>4:00 PM</u>	TOTAL <u>9</u>	
DOWN TIME	<u>1</u>	SURGE TUNNEL FEEDER JAMS		
ACT. PRODUCTION TIME	<u>8</u>			
POST TIME	START TIME <u>4:00 PM</u>	STOP TIME <u>5:00 PM</u>	TOTAL <u>1</u>	
DAILY MSHA INSPECTION DONE?			TOTAL HRS. <u>11</u>	

PRIMARY ISSUES

Down to replace drive belts on the surge stacker, clean out scalping screen chute and start back up. (Running one truck most of the day)

TERTIARY ISSUES

Down to track the 2b transfer belt. Cleaned out under the 8x20 screen to start back up.

Primary Scale	<u>2,112</u>	467s	<u>282</u>	Concrete Sand
2A		57s	<u>1/4"</u>	Washed 57s
Surge Tunnel		67s	<u>10's</u>	
Tertiary Tunnel	<u>1,190</u>	7s	<u>Processed/Washed 10's</u>	

PORTABLE PRODUCTION

JOB # \_\_\_\_\_

NUMBER OF BUCKETS		TONS PER BUCKET	TONNAGE
PRE TIME	START TIME _____	STOP TIME _____	TOTAL <u>0</u>
RACE/GOAL	START TIME _____	STOP TIME _____	TOTAL <u>0</u>
ROCK JAM DOWN TIME	DOWN TIME _____		
ACT. PRODUCTION TIME	<u>0</u>		
POST TIME	START TIME _____	STOP TIME _____	TOTAL <u>0</u>
DAILY MSHA INSPECTION DONE?	YES <input type="radio"/> NO <input type="radio"/>		TOTAL HRS. <u>0.00</u>

CRUSHING SPECIFICS

BAR MEASUREMENTS START: \_\_\_\_\_ FINISH: \_\_\_\_\_

NUMBER OF BARS INSTALLED \_\_\_\_\_

BELT SCALE \_\_\_\_\_

ISSUES:



DATE August 30, 2024  
 WEATHER Sun  
 JOB# B-510M  
 SALES 709.17

AUTHORIZED SIGNATURE Mark Lane Sr

LOCATION H&K Materials

PRIMARY				
PRIMARY TOTAL TONS CRUSHED	<u>1,661</u>	TPH	<u>302</u>	TPH GOAL <u>400</u>
PRE TIME	<u>START TIME 6:00 AM</u>	<u>STOP TIME 7:00 AM</u>	<u>TOTAL 1</u>	
RACE/GOAL	<u>START TIME 7:00 AM</u>	<u>STOP TIME 12:30 PM</u>	<u>TOTAL 5.5</u>	
BLAST DOWN TIME	DOWN TIME	ROCK JAM DOWN TIME		
ACT. PRODUCTION TIME	<u>5 1/2</u>			
POST TIME	<u>START TIME 12:30 PM</u>	<u>STOP TIME 5:00 PM</u>	<u>TOTAL 4.5</u>	
DAILY MSHA INSPECTION DONE?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	TOTAL HRS. <u>11</u>	

TERTIARY				
SECONDARY TOTAL TONS CRUSHED	<u>1,142</u>	TPH	<u>157.517</u>	TPH GOAL
PRE TIME	<u>START TIME 6:00 AM</u>	<u>STOP TIME 7:00 AM</u>	<u>TOTAL 1</u>	
RACE/GOAL	<u>START TIME 7:00 AM</u>	<u>STOP TIME 3:45 PM</u>	<u>TOTAL 8.75</u>	
DOWN TIME	<u>1.5</u>	SURGE TUNNEL FEEDER JAMS		
ACT. PRODUCTION TIME	<u>7 1/4</u>			
POST TIME	<u>START TIME 3:45 PM</u>	<u>STOP TIME 5:00 PM</u>	<u>TOTAL 1.25</u>	
			TOTAL HRS. <u>11</u>	

**PRIMARY ISSUES**  
 In the afternoon the surge stacker stopped. Couldn't find anything wrong. While starting back up, we found a large cut in the 4's stacker belt. Shut down to repair. Moved modified rest of the day.

**TERTIARY ISSUES**  
 Down to clear out 2b transfer belt.

Primary Scale 1,661 467's \_\_\_\_\_ 8's 276 Concrete Sand \_\_\_\_\_  
 2A \_\_\_\_\_ 57's \_\_\_\_\_ 1/4" \_\_\_\_\_ Washed 57's \_\_\_\_\_  
 Surge Tunnel \_\_\_\_\_ 67's \_\_\_\_\_ 10's \_\_\_\_\_  
 Tertiary Tunnel 1,142 7's \_\_\_\_\_ Processed/Washed 10's \_\_\_\_\_

**PORTABLE PRODUCTION**

JOB # _____				
NUMBER OF BUCKETS	TONS PER BUCKET	TONNAGE		
PRE TIME	<u>START TIME</u>	<u>STOP TIME</u>	<u>TOTAL 0</u>	
RACE/GOAL	<u>START TIME</u>	<u>STOP TIME</u>	<u>TOTAL 0</u>	
ROCK JAM DOWN TIME	DOWN TIME			
ACT. PRODUCTION TIME	<u>0</u>			
POST TIME	<u>START TIME</u>	<u>STOP TIME</u>	<u>TOTAL 0</u>	
DAILY MSHA INSPECTION DONE?	<input type="radio"/> YES	<input type="radio"/> NO	TOTAL HRS. <u>0.00</u>	

**CRUSHING SPECIFICS**

BAR MEASUREMENTS START: \_\_\_\_\_ FINISH: \_\_\_\_\_  
 NUMBER OF BARS INSTALLED \_\_\_\_\_  
 BELT SCALE \_\_\_\_\_

ISSUES: \_\_\_\_\_